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<https://us02web.zoom.us/j/88907423606?pwd=mWUgZIZJZLD4bIOFTcMz6UBTQTOADv.1>

Password: 588094 Meeting ID: 889 0742 3606 Call in Phone #: 1+929 205 6099



**City of Beaufort**  
1911 Boundary Street  
Beaufort Municipal Complex  
Beaufort, South Carolina 29902  
(843) 525-7070

**Historic District Review Board Regular Meeting Agenda  
August 13, 2025**

**Statement of Media Notification**

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media was duly notified of the time, date, place and agenda of this meeting."

**Regular Meeting - Council Chambers, 2nd Floor - 2:00 PM**

**Please note, this meeting will be broadcast via zoom and live-streamed on Facebook. You can view the meeting at the City's page; City Beaufort SC**

- I. Call to Order**
- II. Minutes**
  - A. **May 14, 2025 Meeting Minutes**
  - B. **June 11, 2025 Meeting Minutes**
  - C. **July 9, 2025 Meeting Minutes**
- III. Applications**
  - A. **404 Scott Street, PIN R120 004 000 0809 0000, addition**  
Applicant: Thomas Rhodes, Architect
- IV. Discussion**
- V. Adjourn**



# Historic District Review Board Meeting Minutes – May 14, 2025

## CALL TO ORDER

0:02

A meeting of the Historic District Review Board was held in-person on Wednesday, May 14 at 2:00 pm.

## ATTENDEES

Members in attendance: Eric Berman, (Vice-Chair), Rita Wilson, and Kim Petrella

Member absent: Mike Sutton (Chair) and Grady Woods.

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner, III, Nick Navia, Community Development Planner, I, Meadors Architects, and Julie A. Bachety, Community Development Administrative Assistant II.

## REVIEW OF MINUTES OF APRIL 9, 2025

0:05

Mr. Berman commented that on page 2 under the motion the second bullet 9'1"2 should be corrected to either state 9 ½ feet or 9' 6". He also noted on page 2 under the motion the third bullet, *conquer* should be corrected to "concur".

**Motion:** Ms. Wilson made a motion to approve the April 9, 2025 minutes with the changes as noted. Ms. Petrella seconded the motion. The motion passed unanimously.

*All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.*

## APPLICATIONS

1:14

- A. **1203 Bay Street (The Cuthbert House), PIN R120 004 000 771A 0000**, awning replacement  
Applicant: Chris Ramm, Owner

The applicant is requesting approval for replacement of a green canvas awning at the rear of The Cuthbert House with a standing seam metal shed roof.

Christopher Klement presented the staff report.

Public Comment:

**Wallace Scarborough, 1207 Bay Street** thanked the Board and said what they are doing is important and keeping the historic integrity of these homes is vitally important to the economy of Beaufort and that is why tourists come here. Mr. Scarborough is in favor of the project.

**Lise Sundrila, Historic Beaufort Foundation (HBF)**, stated HBF is in support of the project.

Public comment closed.

**Motion:** Ms. Petrella made a motion to approve alternative #2 – Shed-roof awning, option 1 as presented by staff. Ms. Wilson seconded the motion. The motion passed unanimously.

B. **1107 Prince Street, PIN R120 004 000 0503 0000**, alterations, additions

**17:13**

Applicant: Benjie Morillo, Architect

The applicant is requesting approval to partially demolish some walls within the existing structure, as to add-on to the existing house, including changes to front, side/rear porches and terrace.

Nick Navia presented the staff report.

Public Comment:

**Lise Sundrila, Historic Beaufort Foundation (HBF)**, said HBF is in favor of the project. Ms. Sundrila commented that the building was mis-aged when it was surveyed and portions of it are actually the 1940's. Ms. Sundrila suggested keeping the character defining features.

**Daniel Blackman, 1010 Duke Street** said he is in favor of the project for renovations of the house. He wanted clarification that this application does not include the ADU or the other addition because the plans show them as "future addition" don't show it this way. He is concerned about the vertical board and batten versus horizontal; it's very unusual in the Northwest Quadrant (NWQ) and not consistent with the NWQ.

Public comment closed.

**Motion:** Ms. Petrella made a motion to preliminarily approve the application with staff's recommendations and to add the additional condition that the applicant restudy the siding, the windows, consider a gable return for the front addition and that their submission explicitly excludes the future addition and future ADU. Ms. Wilson seconded the motion. The motion passed unanimously.

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## ADJOURNMENT

**50:38**

Ms. Wilson made a motion seconded by Ms. Petrella to adjourn. The meeting ended at 2:51 pm.



# Historic District Review Board Meeting Minutes – June 11, 2025

## CALL TO ORDER

0:52

A meeting of the Historic District Review Board was held in-person on Wednesday, June 11, 2025 at 2:00 pm.

## ATTENDEES

Members in attendance: Mike Sutton (Chair), Rita Wilson, Kim Petrella, and Grady Woods (via Zoom)

Member absent: Eric Berman, (Vice-Chair),

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner III, Nick Navia, Community Development Planner, I, Meadors Architects, and Julie A. Bachety, Community Development Administrative Assistant II.

## REVIEW OF MINUTES OF MAY 14, 2025

0:59

Chairman Sutton stated the minutes of the May 14, 2025 meeting today will be placed on the Board's next meeting for review since there is not a full board.

*All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.*

## APPLICATIONS

1:24

A. **Permit Extension: 1114 Congress Street: Request for a one-year COA extension for the COA.**

Applicant: Cherimie Crane Weatherford, Executive Director, Freeman's Arts District

The applicant is requesting approval for a one-year COA extension for the COA.

Curt Freese stated the applicant is requesting a one-year extension for their COA. Mr. Freese referred to Section 9.1 that states, COAs are given two years and then the COA can be renewed for one year periods five times, but it has to come before the Historic District Review Board (HDRB) to be approved. The applicant has not started on the project, but it was approved two years ago, and staff sees no reason why it cannot be renewed.

Public Comment:

None.

Public comment closed.

**Motion:** Ms. Petrella made a motion to approve the extension as requested. Ms. Wilson seconded the motion. The motion passed unanimously.

B. **314 Charles Street, PIN R120 004 000 849B 0000**, alterations

**3:50**

Applicant: Scott Haupt and Marilyn Marino, owners

Grady Woods recused himself from this project.

The applicants are requesting approval to install two (2) storm doors – 1 on the front and 1 on the rear door of their home.

Nick Navia presented the staff report.

Public Comment:

**Lise Sundrla, Director of Historic Beaufort Foundation (HBF)**, agrees with staff's recommendation. This is an important structure. Ms. Sundrla referred to the Preservation Manual. She provided the applicant a recommendation for whoever to go to look for wooden storm doors that was recommended by Jeremy Tate, Staff Architect. Keeping it as wood will go a long way with showing best practices for what to do with historic structures. Ms. Sundrla stated that we don't look at a mistake that was made previously and use that as a precedent to go forward.

Public comment closed.

**Motion:** Ms. Petrella made a motion to approve the aluminum example as presented today. Ms. Wilson seconded the motion. The motion passed unanimously.

C. **914 Newcastle Street, PIN R120 004 000 0279 0000**, new construction

**18:02**

Applicant: Megan Chancellor Crumrine, Architect

Mr. Woods returned to the Board now.

The Applicant is requesting approval for construction of a new single-family residence.

Christopher Klement presented the staff report.

Public Comment:

**Lise Sundrla, Director of Historic Beaufort Foundation (HBF)**, said HBF is very pleased with the changes that were made to minimize the height and scale of the building.

Public comment closed.

**Motion:** Mr. Woods made a motion to grant final approval with staff looking at the chimney cap if there are any alterations. Ms. Petrella seconded the motion. The motion passed unanimously.

Mr. Freese said that the HRB/Planning Commission Subcommittee has been meeting, and they are making some good progress. Mr. Freese asked the board members if they want to do a Fall Tour possibly in October. He also asked if the board members would be interested in future training.

**42:40**

## **ADJOURNMENT**

**45:46**

Ms. Petrella made a motion seconded by Ms. Wilson to adjourn. The meeting ended at 2:45 pm.

DRAFT



# Historic District Review Board Meeting Minutes – July 9, 2025

## CALL TO ORDER

1:18

A meeting of the Historic District Review Board was held in-person on Wednesday, July 9, 2025 at 2:00 pm.

## ATTENDEES

Members in attendance: Mike Sutton (Chair), Eric Berman, (Vice-Chair), and Grady Woods.

Member absent: Rita Wilson and Kim Petrella.

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner III, Meadors Architects, and Julie A. Bachety, Community Development Administrative Assistant II.

## REVIEW OF MINUTES OF MAY 14, 2025

1:30

Chairman Sutton stated the minutes of the May 14, 2025 meeting will be deferred to the Board's next meeting due to the lack of board members.

*All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.*

## REVIEW OF MINUTES OF JUNE 11, 2025

1:31

Chairman Sutton stated the minutes of the June 11, 2025 meeting will be deferred to the Board's next meeting due to the lack of board members.

*All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.*

## APPLICATIONS

1:55

- A. **1405 Duke Street, PIN R120 004 000 0345 0000**, addition  
Applicant: Martin W. Nash, homeowner

The applicant is requesting approval to build a screened-in detached adobe (200 sq. ft.) on an existing platform at the rear of the existing house.

Curt Freese said regarding this project, when the packages went out on Thursday before the Fourth of July holiday, it was discovered by Historic Beaufort Foundation (HBF) that they hold an easement on this property and that easement requires the applicant to obtain approval for any major changes and HBF has not made that approval. Mr. Freese recommends the Board defer the project. The applicant was present, but then left.

Public Comment:

**Lise Sundrla, Historic Beaufort Foundation (HBF) Director**, said the project actually started with the applicant submitting an incomplete application. Then additional documents were submitted by the applicant yesterday and our Committee did not have time to review them.

Public comment closed.

**Motion:** Mr. Berman made a motion to defer the 1405 Duke Street project, and the Board will have some discussion about this at the end of the meeting. Mr. Woods seconded the motion. The motion passed unanimously.

- B. **605 Carteret Street, PIN R120 004 000 0637 0000**, alterations  
Applicant: Zach and Rihanna Graber, homeowners

**7:48**

The applicants are requesting approval for minor exterior changes, including a new front door, shutters, exterior paint color change and installation of gutters around the roof.

Christopher Klement presented the staff report.

Public Comment:

**Lise Sundrla, Historic Beaufort Foundation (HBF) Director**, said HBF is in support of staff's comments. However, it would be more in keeping with the style of the house not to choose the white paint color with the black surrounds around the windows. The building was built ca. 1880 in a similar style and form as to our Rainbow Row by George Holmes on Craven Street and during the Vernacular Period of our Victorian style with more of a pastel coloring.

Public comment closed.

**Motion:** Mr. Berman made a motion to approve with staff recommendations with the addition that the two vertical panel door was recommended and we're approving it as it is presented but if the applicant decides to change exterior paint colors to a pastel palette that it can be approved at the staff level. Mr. Woods seconded the motion. The motion passed unanimously.

- C. **807 Scott Street, PIN R120 004 000 0425 0000**, exterior renovations  
Applicant: Mirjam Kauffman for Stuart Feldman

**23:20**

The Applicant is requesting approval on various interior and exterior renovations/alterations, including changing location of existing door/window at rear elevation, placement of new windows, exterior paint color change as well as screened-in porch enclosure.

Christopher Klement presented the staff report.

Public Comment:

**Lise Sundrla, Historic Beaufort Foundation (HBF) Director**, said HBF is supportive with staff's comments with the same caveat with the color of the house and is ca. 1885. It does have an extensive bay window on it. Ms. Sundrla suggested the applicant go in the direction of the pastel colors for the base, HBF feels it would be more appropriate than the white, but a secondary opportunity is to do the white base and then highlight the trim with a pastel.

Public comment closed.

**Motion:** Mr. Berman made a motion to approve with staff recommendations. Mr. Woods seconded the motion. The motion passed unanimously.

Discussion

**1:03:12**

The Board discussed conservation easements and the process. If there is a property with a conservation easement, how do we know before it's too late, the Board asked. Mr. Berman stated it should be filed with the Register of Deeds. Ms. Sundrla said typically she will know before meeting with the client. Chairman Sutton suggested Ms. Sundrla give the Board an informal training on Easements. Mr. Freese suggested making this topic part of the Fall tour/session.

**ADJOURNMENT**

**1:11:27**

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Mr. Woods made a motion seconded by Mr. Berman to adjourn. The meeting ended at 3:10 pm.



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**City of Beaufort**  
Department Request for Historic District Review Board Agenda Item

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**To:** Historic District Review Board **Date:** 08/06/2025  
**From:** Nicolas Navia, Community Development Planner I  
**Item Name:** 404 Scott Street, PIN R120 004 000 0809 0000, addition  
Applicant: Thomas Rhodes, Architect  
**Meeting Date:** August 13, 2025  
**Department:** Community Development Department

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**Background Information:**

**Introduction:**

The applicant is requesting approval for an addition of a covered porch, with a brick walkway leading out to the sidewalk, new shutters, new siding, and new living fence. Existing windows and shingle roof to remain; porch roof to be a standing seam metal roof that will tie into existing shingle roof.

**Background:**

The applicant is requesting approval for a covered porch (182 sqft) located at the front of the existing ca. 1960 1-story structure. The project consists of the covered porch with a green standing seam metal roof, a new brick walkway leading to the sidewalk, new shutters, new siding, and a new living fence. The existing wood windows and asphalt shingle roof are to remain. The porch's standing seam metal roof is to tie into the existing shingle roof. **The applicant has been to one (1) HTRC Meeting on July 2nd, 2025.**

**Legal Authority:**

S.C. Code Ann. § 6-29-310 et seq. Comprehensive Planning Enabling Act

**Staff Recommendation:**

**Staff is supportive of the overall project, in that it satisfies the intent of the Beaufort Preservation Manual. However, following aspects should be clarified before considering FINAL APPROVAL:**

1. **Staff recommends selecting a different color for the standing seam metal roof. Staff has concerns that the "Patina Green" color selected by the applicant will appear too different in color next to the existing dark gray asphalt shingle roof, even though it**
-

is a low-slope roof. Staff recommends selecting a gray color to match the existing roof. Staff is supportive of the siding/trim/window color, shutter color, and porch ceiling color.

2. Applicant is proposing fiberglass shutters. Staff may be supportive of fiberglass shutters since this structure is non-contributing, but requests a sample or mockup of a shutter to better understand the appearance of the shutter.
3. The proposed shutters at the ganged window on the front (east) façade do not appear to be wide enough to cover the width of the windows. Staff recommends using bi-fold shutters at these windows with a longer shutter dog to accommodate both panels.
4. Staff recommends reducing the depth of the eave at the front of the porch from 2'-0" to 1'-6" or shorter to better match the eave depths on the existing structure.

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**Placed on Agenda For:**

Action

**Attachments:**

1. Combined File
2. HRB Staff Report\_404 Scott Street



**HISTORIC REVIEW APPLICATION  
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

**Application Fee:**  
see attached schedule

**OFFICE USE ONLY:** Date Filed: 8-1-25 Application #: 29157

\* Non-Cont Zoning District: 74-N

- HAS PROJECT ATTENDED HTRC MEETING? (REQUIRED)  YES  NO
- IS PROJECT A CONTRIBUTING STRUCTURE? 
  - OR NON-CONTRIBUTING STRUCTURE:

FOR A LIST OF CONTRIBUTING OR NON-CONTRIBUTING STRUCTURES, PLEASE SEE:  
<https://cityofbeaufort.org/350/Beaufort-County-Historic-Sites-Survey>

**APPLICABILITY FOR HISTORIC REVIEW BOARD:** Major discretionary review board (HDRB) approval shall apply to applications for Certification of Appropriateness per Section 9.10.2 for the following requests (please check all that apply):

- New building(s) in Historic District
- Changes to exterior materials of Contributing Structures
- Additions to Contributing Structures
- Non-similar roof replacement on Contributing Structures (roof with different materials)
- Window replacements on Contributing Structures
- Major changes to a Contributing or Non-contributing Site
- Demolition
- Other changes to exterior of Contributing Structures

**SUBMITTAL REQUIREMENTS:** All forms and information shall be submitted digitally + 5 hard copies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**APPLICANT, PROPERTY, AND PROJECT INFORMATION:**

APPLICANT NAME: Thomas Rhodes, AIA

APPLICANT ADDRESS: 38 Meridian Road, Beaufort, SC 29907

APPLICANT E-MAIL: tom@f-farchitects.com APPLICANT PHONE NUMBER: (843) 522-8422

APPLICANT TITLE:  Homeowner  Tenant  Architect  Engineer  Developer



**HISTORIC REVIEW APPLICATION  
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org) / Website: [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

**Application Fee:**  
*see attached schedule*

OWNER (IF OTHER THAN THE APPLICANT): Hannah Fulton

OWNER ADDRESS: 404 Scott Street, Beaufort, SC 29902

PROPERTY ADDRESS: same

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER): R120 004 000 0809 0000

**PROVIDE A BRIEF PROJECT NARRATIVE:** (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

Addition of covered porch, brick walk to sidewalk

New shutters, new siding, new living fence

Existing shingle roof to remain, new roof over porch to be standing seam metal

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**CERTIFICATION OF CORRECTNESS:** I/we certify that the information in this application is correct.

**APPLICANT'S SIGNATURE:** Thomas Rhodes **DATE:** 8/1/25

**OWNER'S SIGNATURE:** Hannah Fulton **DATE:** 8/1/25

(The owner's signature is required if the applicant is not the owner.)

**SCHEDULE:**

The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. Staff will schedule HRB meeting after HTRC and review of application submittal for completeness and compliance with the Beaufort Preservation Manual and the City of Beaufort Development Code.

**CONTACT INFORMATION:**

City of Beaufort Community Development Department  
1911 Boundary Street, Beaufort, South Carolina 29902  
E-Mail: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

Revised June 10, 2021

## HISTORIC DISTRICT REVIEW BOARD CERTIFICATE OF APPROPRIATENESS

### Application Requirements

*The Beaufort Code* applies to all projects; the Historic District Infill Design Guidelines in Section 4.7 apply to new construction in the Historic District.

The Historic Review Board also utilizes the following documents when evaluating projects:

- *The Beaufort Preservation Manual & Supplement*: these standards apply to New Construction, Alterations and Additions to Contributing Structures, and Demolition located everywhere in the Historic District except the Northwest Quadrant.
- *The Northwest Quadrant Design Guidelines*: these standards apply to New Construction, Alterations and Additions to Contributing Structures, and Demolition located in the Northwest Quadrant of the Historic District
- The Secretary of the Interior's *Standards for Rehabilitation*: these standards apply to all modifications to Contributing Structures throughout the Historic District

All documents can be found online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

- The Beaufort Code can be found here: <http://www.cityofbeaufort.org/434/Zoning>
- Documents specific to the Historic District, a map of the Historic District and neighborhoods, and the list of Contributing and Non-Contributing Structures can be found here: <http://www.cityofbeaufort.org/350/1997-Beaufort-County-Historic-Sites-Surv>

**NOTE 1:** If a New Construction project also requires major demolition a separate application is required. (Refer to the [Checklist for Demolition](#) on page 3).

**NOTE 2:** Applications will not be considered complete until all the required items have been submitted. Incomplete applications will not be placed on the agenda.

**NOTE 3:** Applications are to be compiled in the order in which the applicant plans to present the application to the Board during the meeting.

## City of Beaufort Certificate of Appropriateness Checklists

### Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

\*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

**\*This Application Requirements Checklist MUST be included in applications, with submitted items checked.**

#### **Conceptual Review**

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

#### **Preliminary Review:** All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

#### **Final Review:** All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

## City of Beaufort Certificate of Appropriateness Checklists

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### Submission Requirements for Change After Certification

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

#### **Change After Certification:**

- Copy of Certificate of Appropriateness** received with previous approval.
- Previously Approved Drawings:** Applicant to submit **complete** set of previously approved documents. Current proposed documents to be interlaced between previously approved documents and must be formatted to match previously approved. For example, previously approved elevations should be followed by current proposed. Drawings to be clearly noted as “Previously Approved” or “Current Proposed”, and all proposed revisions in the current proposed drawings must be clouded and noted.

## City of Beaufort Certificate of Appropriateness Checklists

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### Submission Requirements for Demolition or Relocation

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

**Note: A public hearing must be held for Demolition or Relocation. All notification requirements must be met by the City.**

- A written statement describing the history of the architectural significance of the structure to be demolished, the structural or physical condition of the structure, and the proposed use of the site after demolition or relocation. The statement should also include any recent attempt(s) to sell the property, or move the structure. A recent appraisal with comparisons is strongly encouraged. You may refer to *The Beaufort County Above Ground Resources Survey of 1997*, or consult city staff or the Historic Beaufort Foundation for verification of the date of construction and historic information.
- Tax map or plat showing the location of the property
- Color photographs of all sides of the structure.
- Color photographs of adjoining properties.
- A written report by an engineer, regarding the structural condition of the building, is required if the reason for demolition is related to the structural integrity of the building.



## HISTORIC DISTRICT REVIEW BOARD MAJOR REVIEW FEE SCHEDULE

(As of October 9, 2024)

### **BOARD REVIEW FEES:**

Single-family residential projects (board review)	\$100.00
Multifamily and commercial projects (board review)	\$250.00
Change After Certification	\$100.00
Demolition (whole structure)	\$250.00
Special Board Meeting	\$500.00

**Post facto applications shall be triple the normal fee.**

United States Department of the Interior  
National Park Service

**National Register of Historic Places  
Continuation Sheet**

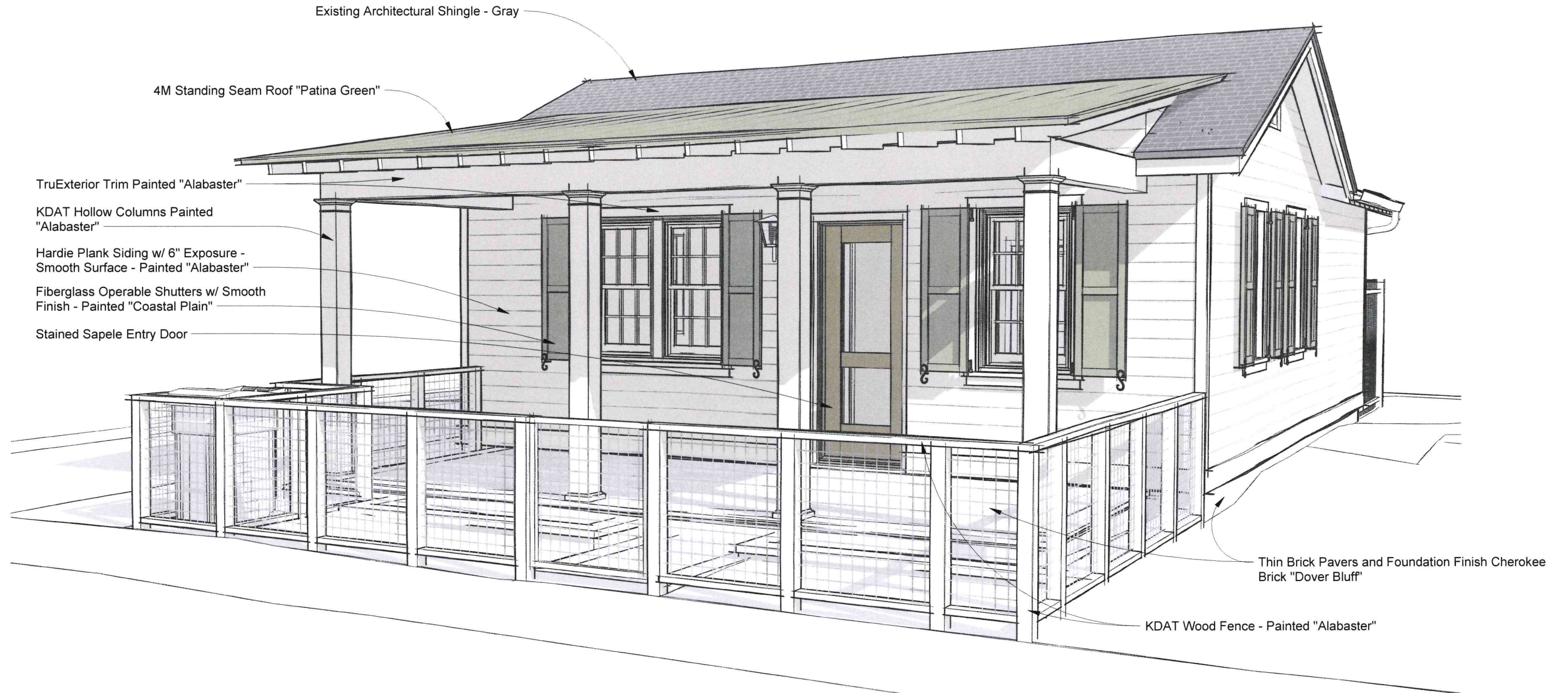
Section number 7 Page 42

**Beaufort Historic District  
Beaufort County, SC**

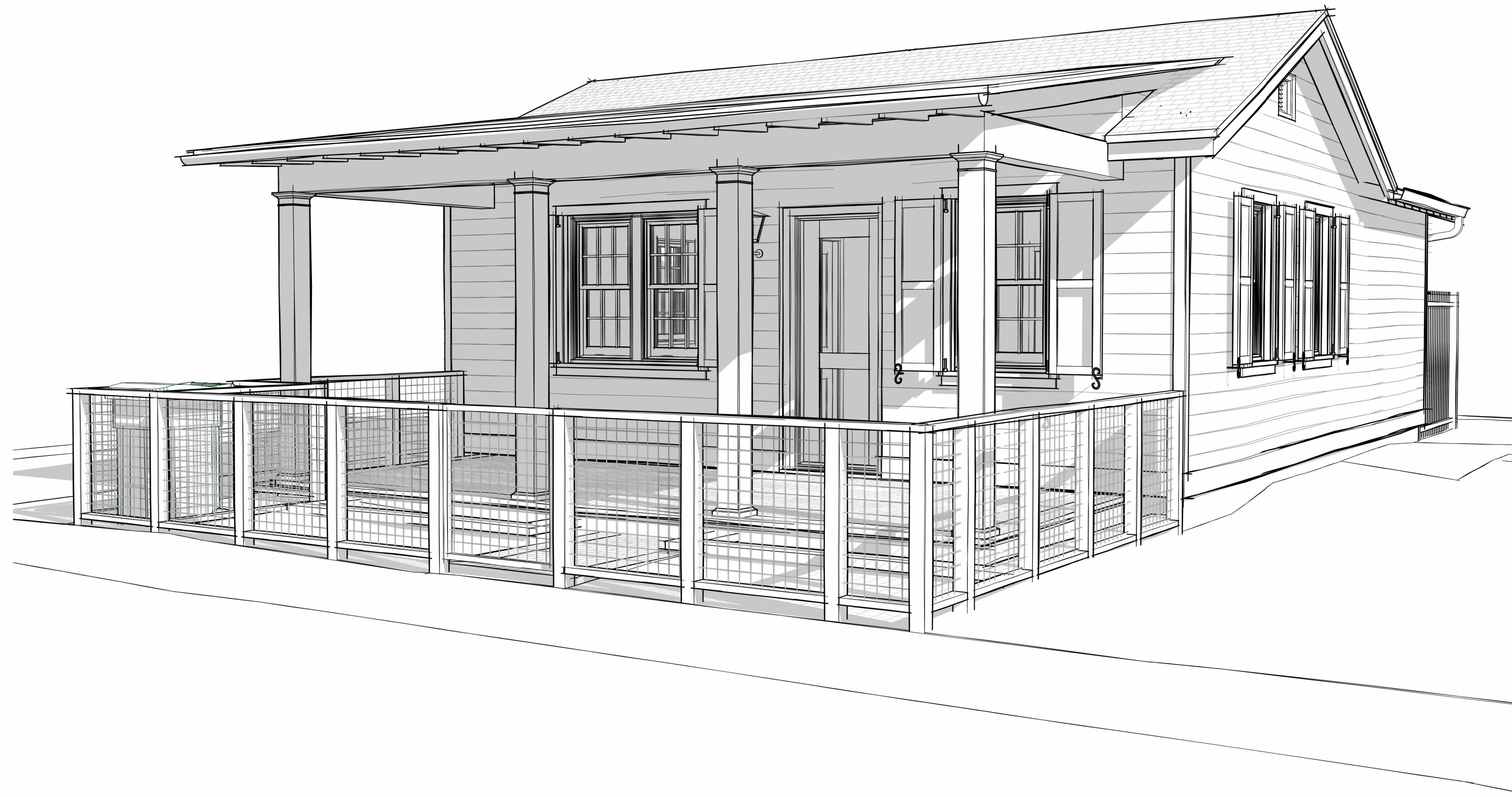
**List of Noncontributing Resources, Continued**

Address	Historic Use / Name	Date	Description	Block	Site Number
Scott's St., 311	library	1985 ca.	2-story brick library	48	NS
Scott's St., 402	single dwelling	1975 ca.	2-story frame dwelling	58	NS
Scott's St., 404	single dwelling	1960 ca.	1-story cmu dwelling	58	NS
Scott's St., 406	single dwelling	1940 ca.	1-story frame dwelling; possibly older but altered	58	NS
Scott's St., 504	single dwelling	1900 ca.	1-story frame dwelling; altered	57	950
Scott's St., 603	offices	1970 ca.	2-story stucco office building	45	NS
Scott's St., 805	single dwelling	1965 ca.	1-story frame dwelling	43	NS
Scott's St., 808	single dwelling	1965 ca.	1-story brick veneer dwelling	54	NS
Short St., 101	single dwelling	1970 ca.	1-story brick dwelling	1	NS
Short St., 108	single dwelling	1950 ca.	1 story frame dwelling, altered	2	NS
Washington St.,	single dwelling	1970 ca.	1-story cmu/brick veneer dwelling	76	NS
Washington St., 706	single dwelling	1900 ca.	1-story frame dwelling; altered	43	888
Washington St., 809	single dwelling	1930 ca.	1-story frame dwelling; possibly older but altered	53	NS
Washington St., 902	single dwelling	1960 ca.	2-story brick veneer dwelling	65	NS
Washington St., 909	single dwelling	1960 ca.	1-story cmu dwelling	64	NS
Washington St., 1104	single dwelling	1990 ca.	1-story frame dwelling	86	NS
Washington St., 1110	single dwelling	1970 ca.	1-story frame dwelling	86	NS
Washington St., 1114	single dwelling	1970 ca.	1-story frame dwelling; possibly older but altered	86	NS
Washington St., 1201	multiple dwelling	1990 ca.	1-story stucco multi-family dwelling	94	NS
Washington St., 1312	single dwelling	1955 ca.	1-story frame dwelling	103	NS
Washington St., 1401	single dwelling	1900	1-story brick veneer dwelling	110	NS
Washington St., 1406	single dwelling	1965 ca.	1-story frame dwelling	111	NS
Washington St., 1408	single dwelling	1960 ca.	1-story frame dwelling	111	NS
Washington St., 1410	single dwelling	1965 ca.	1-story frame dwelling	111	NS
Washington St., 1501	single dwelling	1955 ca.	1-story cmu dwelling	118	NS
Washington St., 1506	single dwelling	1955 ca.	1-story cmu dwelling	119	NS
Washington St., 1600	offices	1980 ca.	1-story frame office building	127	NS
Washington St., 1606	single dwelling	1955 ca.	1-story frame dwelling	127	NS
Washington St., 1606 rear	single dwelling	1970 ca.	1-story frame dwelling	127	NS

See continuation sheet 7-43



# Fulton - 404 Scott Street



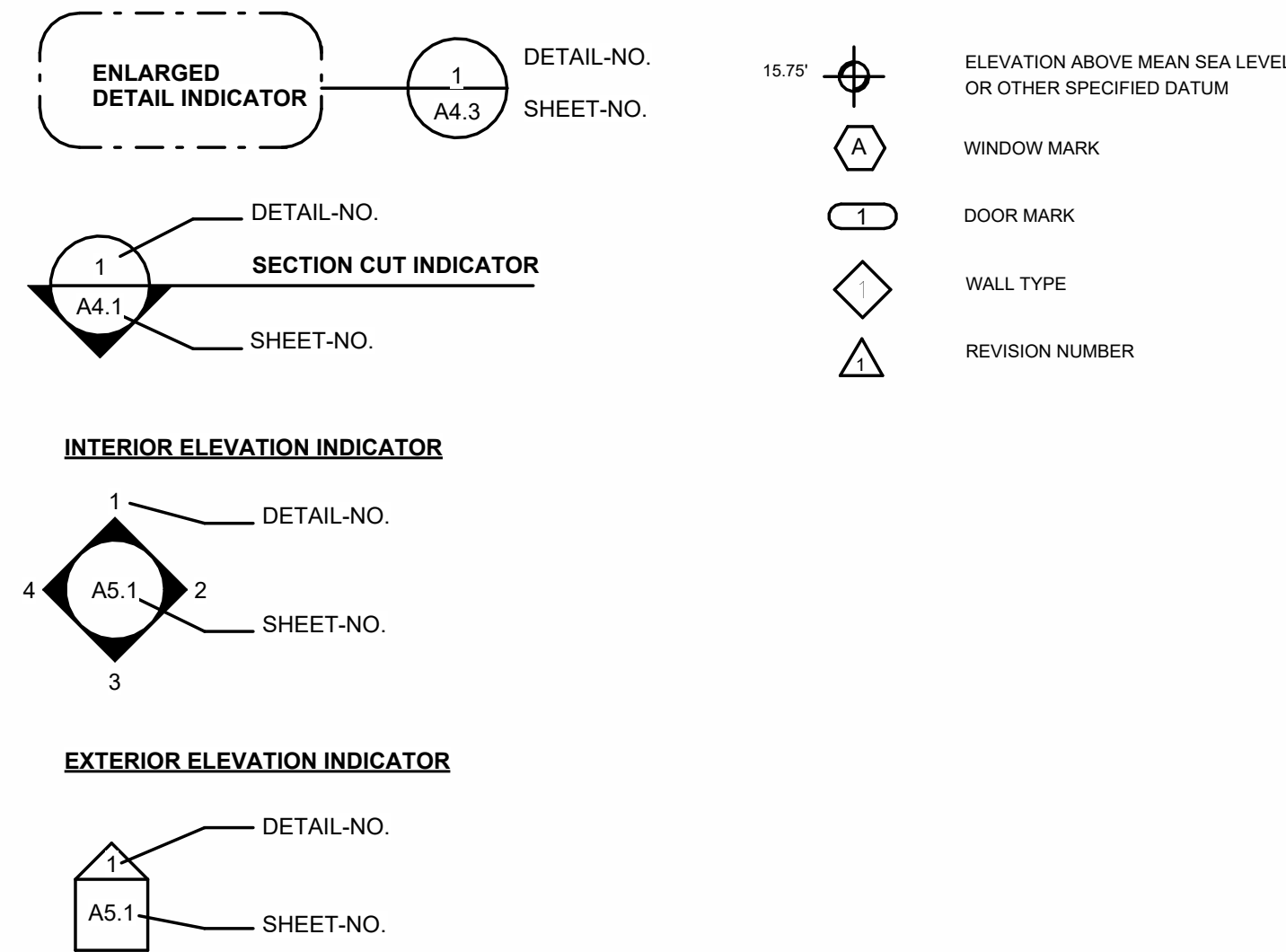
# FULTON PORCH

404 SCOTT STREET  
BEAUFORT, SC

## ABBREVIATIONS

ABV. Above	EXT. Exterior	QTY. Quantity
ADJ. Adjacent	F.D. Floor Drain	R. Rise
A.F.F. Above Finish Floor	FL. Floor	RAD. Radius
ALUM. Aluminum	F.J. Floor Joist	R.D. Roof Drain
ALT. Alternate	F.R.O.G. Finished Room Over Garage	REF. Refrigerator
ANG. Angle	FT. Foot	REIN. Reinforcing
APPROX. Approximate	GA. Gauge	REV. Revision
BD. Board	GALV. Galvanized	REQD. Required
BLDG. Building	GYP.BD. Gypsum Board	R.J. Roof Joist
BLKG. Blocking	H.B. Hose Bib	RM. Room
BM. Beam	H.O.W.D. Hollow Core Wood	R.O. Rough Opening
BSMT. Basement	H.M. Hollow Metal	SCHED. Schedule
BOT. Bottom	HORIZ. Horizontal	S.C.W. Solid Core Wood
CAB. Cabinet	HGT. Height	S.F. Square Foot
C. Center Line	KIT. Kitchen	SH. Shelf
C.T. Ceramic Tile	LAM. Laminate	SHT. Sheet
CLG. Ceiling	LAV. Lavatory	SIM. Similar
CLO. Closet	LT. Light	S.M.P. Solid Masonry Pier
CM. Centimeter	MAS. Masonry	SPEC. Specification
CMU. Concrete Masonry Unit	MAX. Maximum	SQ. Square
C.O. Caser Opening	MECH. Mechanical	S.S. Stainless Steel
COL. Column	MEMB. Membrane	STD. Standard
CONC. Concrete	MET. Metal	STL. Steel
CONT. Continuous	MFR. Manufacturer	SUSP. Suspended
DEPT. Department	MIN. Minimum	T. Tread
DTL. Detail	MISC. Miscellaneous	TEL. Telephone
D.F. Drinking Fountain	M.O. Masonry Opening	THK. Thick
DIA. Diameter	N.I.C. Not in Contact	THRES. Threshold
DIM. Dimension	N.T.S. Not To Scale	THRU. Through
DN. Down	O.C. On Center	T.O.P. Top of Plate
DS. Down Spout	O.D. Outside Diameter	T.O.S. Top of Steel
DWG. Drawing	OPNG. Opening	T.O.SL. Top of Sheathing
E.A. Each	OPT. Optional	TYP. Typical
E.J. Expansion Joint	P.C. Precast	UN. Unless Otherwise Noted
E.L. Elevation	PL. Plate	VCT. Vinyl Composition Tile
ELEC. Electrical	P.LAM. Plastic Laminate	VERT. Vertical
EMER. Emergency	P.P. Pressure Treated	V.I.F. Verify in Field
EQ. Equal	PLYVD. Plywood	W. With
EQUIP. Equipment	PR. Par	WO. Wood
E.W. Each Way	P.S.F. Pounds Per Square Foot	W/O. Without
EXIST. Existing	P.S.I. Pounds Per Square Inch	WP. Waterproofing
	PTD. Painted	WT. Weight
	P.V.C. Polyvinyl Chloride	WWF. Welded Wire Fabric

## SYMBOLS



## SELECTIONS

### Finish Selections

Siding and Trim Color: SW 7008 Alabaster  
 Shutter and Accent Color: SW 6192 Coastal Plain  
 Porch Ceiling: CSP-545 Sheer Bliss  
 Porch and Walk Brick: Cherokee Brick Dover Bluff - Georgia Classic Collection  
 Standing Seam Metal Roof: Patina Green (Sentriclad Architectural Metals - 4M)

### Material Selections

Roof: 4M Metal Standing Seam Roof w/ 1" Rib Height  
 Siding: 7-1/4" Hardie Plank Siding w/ 6" Exposure (Smooth Face)  
 Trim: TruExterior Trim (Smooth Finish)  
 Columns: 8x8 Hollow KDAT SYP Columns  
 Brick Paver: Cherokee Brick Thin Brick with Corner Shape at all Corners  
 Entry Door: Stained Stile and Rail Wood Door  
 Windows: Existing Windows to Remain - Apply new Sealant and Paint  
 Underside of Roof Deck: 1x6 Sq. Edge KDAT SYP T&G  
 Shutters: Atlantic Premium Shutters (Operable, Smooth Finish)

## INDEX OF DRAWINGS

Sheet Number	Sheet Name
A1.0	TITLE SHEET
A2.0	FLOOR PLAN & PHOTOS
A3.0	EXTERIOR ELEVATIONS
A4.0	SECTIONS AND DETAILS
SURVEY	SURVEY

## MATERIALS

	EARTH		ROUGH LUMBER CONTINUOUS		GYPSUM WALLBOARD (LARGE SCALE)
	GRAVEL		ROUGH LUMBER BLOCKING		ACOUSTIC TILE
	CONCRETE		FINISH WOOD		CARPET & PAD
	C.M.U.		INSULATION BATTS		WATERPROOFING, FELT, FLASHING, ETC.
	BRICK		RIGID INSULATION		GYPSUM WALL BOARD (ELEVATION)
	STEEL		PLYWOOD (LARGE SCALE)		BRICK (ELEVATION)
			PLYWOOD (SMALL SCALE)		HORIZONTAL SIDING (ELEVATION)
					ROOF SHINGLES (ELEVATION)

## LOCATOR MAP



## SITE INFORMATION

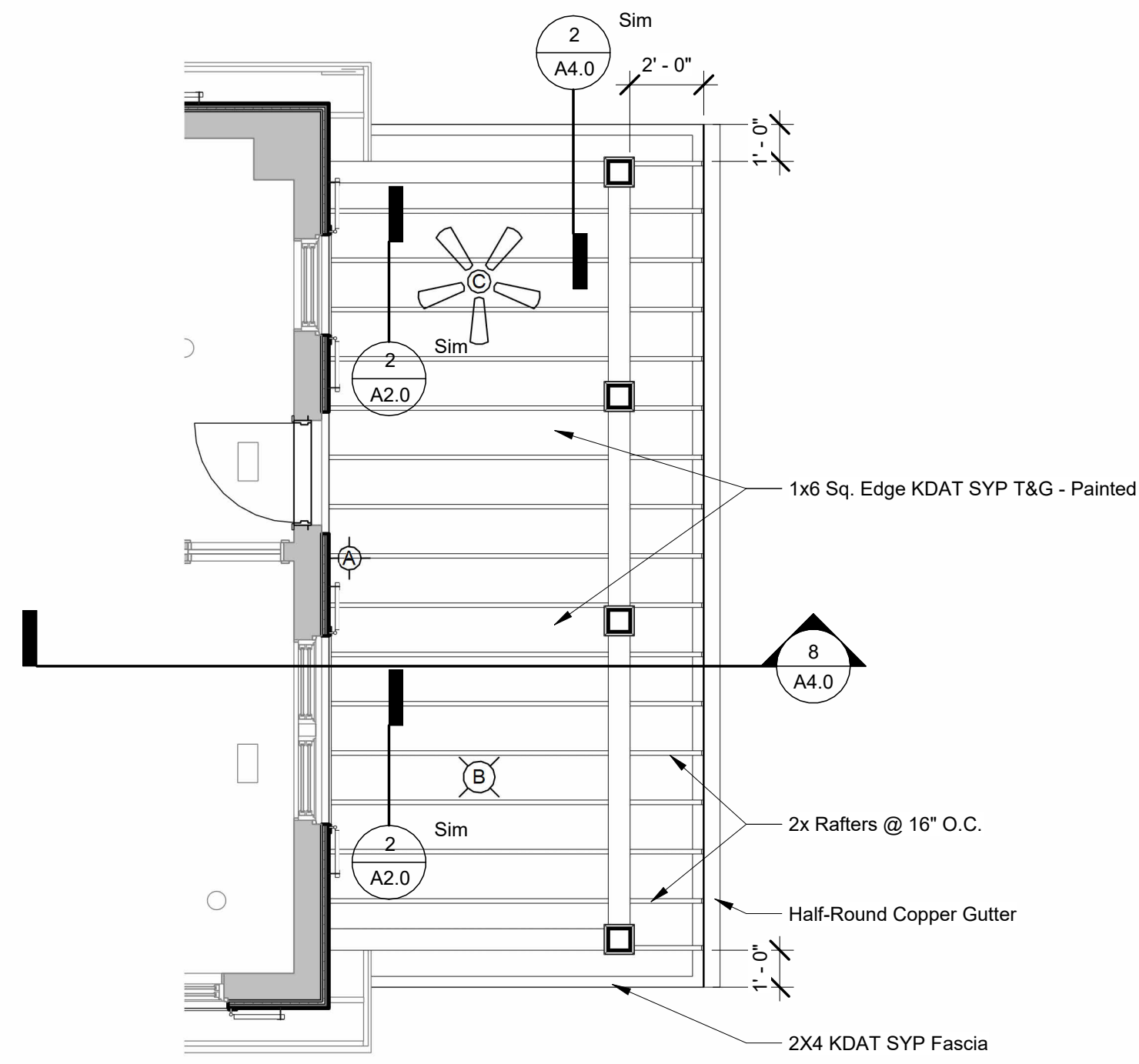
**PROPERTY ID (PIN):** R120 004 000 0809 0000

**SITE INFORMATION**  
TOTAL LOT SIZE: 1,501 S.F.

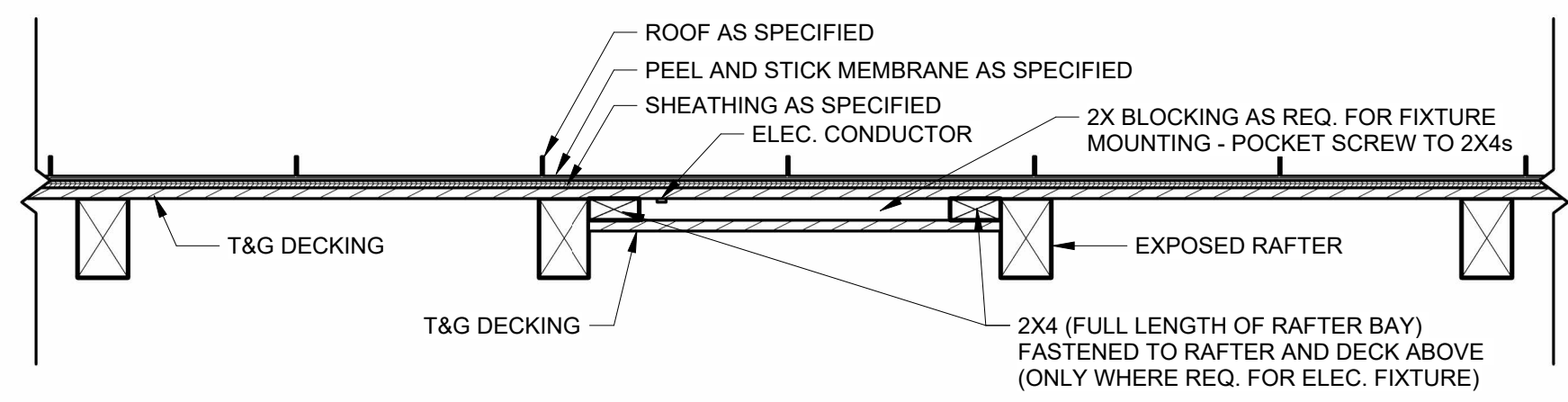
**ZONING AND FLOOD INFORMATION**  
ZONED T4-N  
NONCONTRIBUTING STRUCTURE  
FLOOD ZONE = X SHADED  
EXISTING F.F.E. = 9.33' (1988 NAVD)

**MAIN HOUSE AREA**  
EXIST. FIRST FLOOR: 723 S.F.  
FRONT PORCH: 182 S.F.

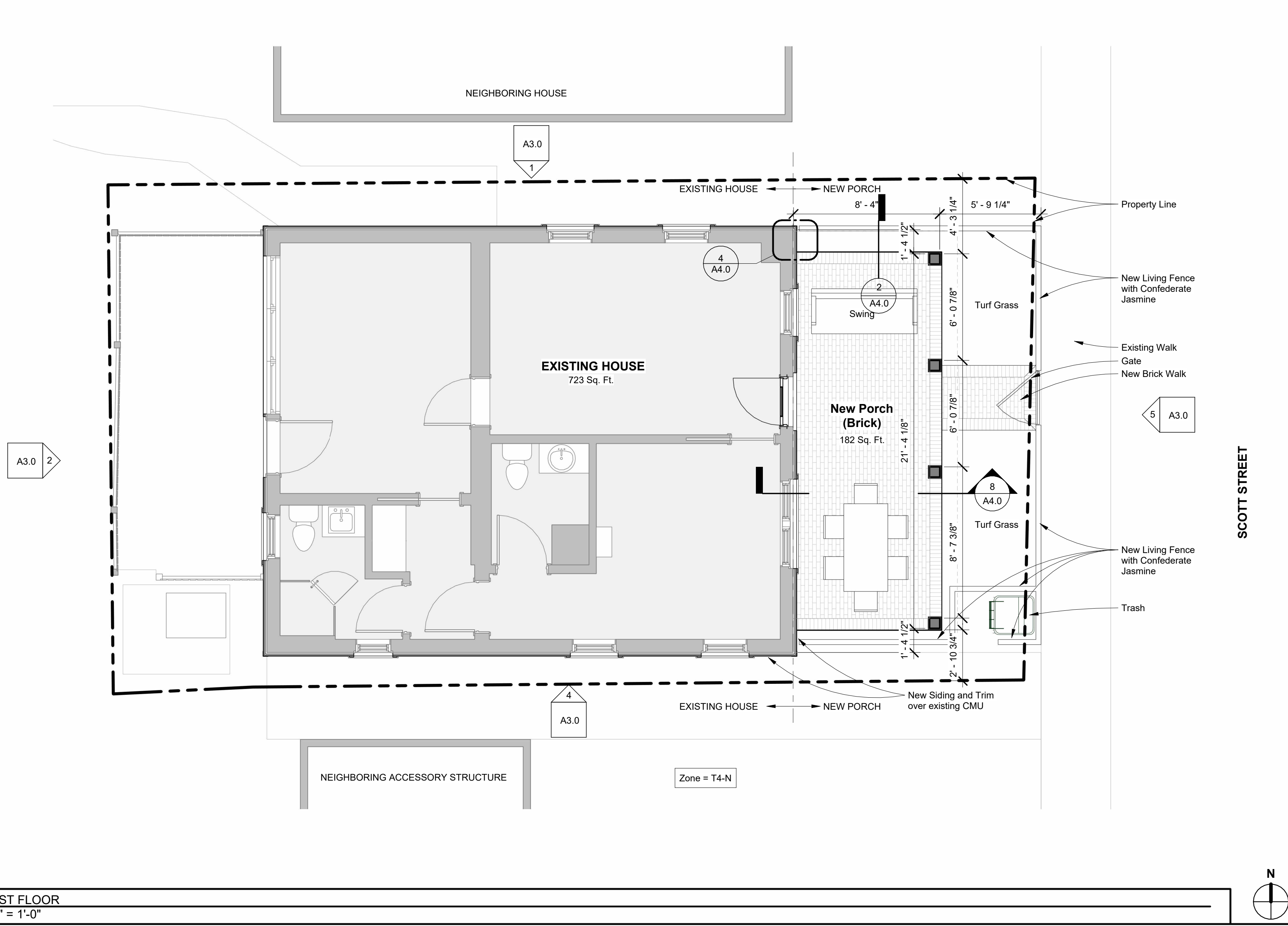
Light Fixture Schedule					
Fixture Tag	Fixture Type	Count	Manufacturer	Model	Comments
A	WALL SCONCE	1	The CopperSmith Handcrafted Lighting	East Bay Collection EB20	
B	CEILING MOUNTED FIXTURE	1	Lowcountry Originals	Carmel "By The Sea" Chandelier	Sloped Ceiling
C	CEILING FAN	1	MinkaAire	F786-WHF	Sloped Ceiling



1 FIRST FLOOR CEILING AND ELECTRICAL PLAN  
1/4" = 1'-0"



2 ELEC. CHASE IN PORCH CEILING  
1" = 1'-0"



3 FIRST FLOOR  
1/4" = 1'-0"



Scott Street and Existing House - Looking South West



Scott Street and Existing House - Looking North West

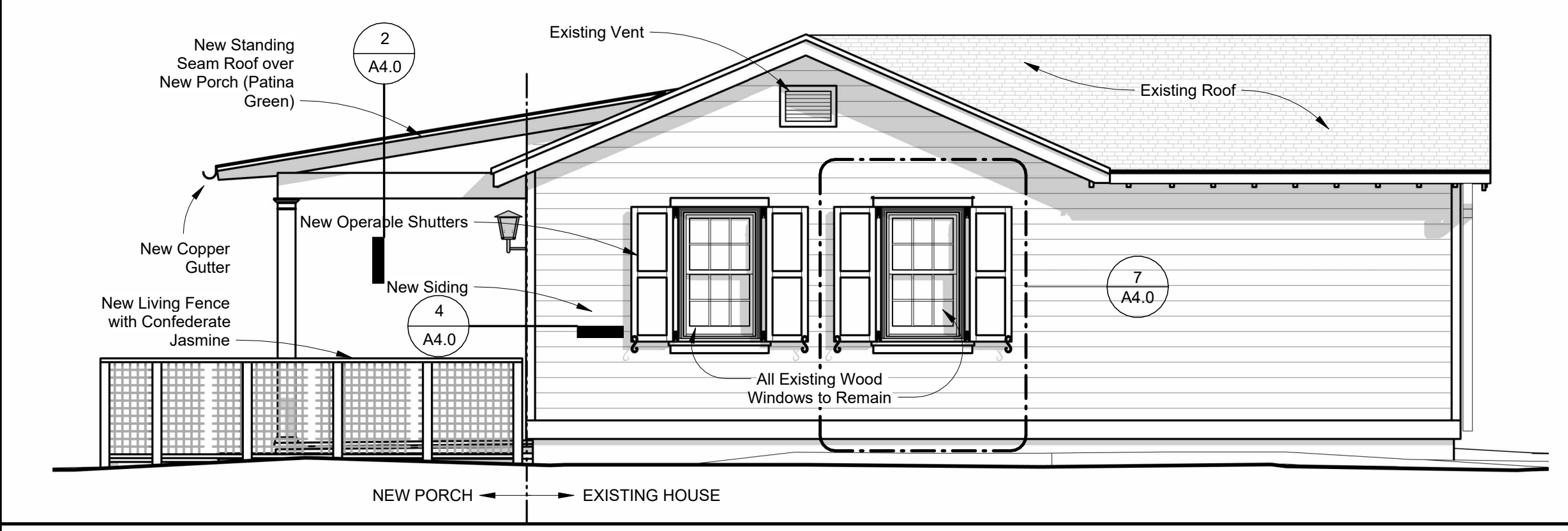


Existing House

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**Finish Selections**

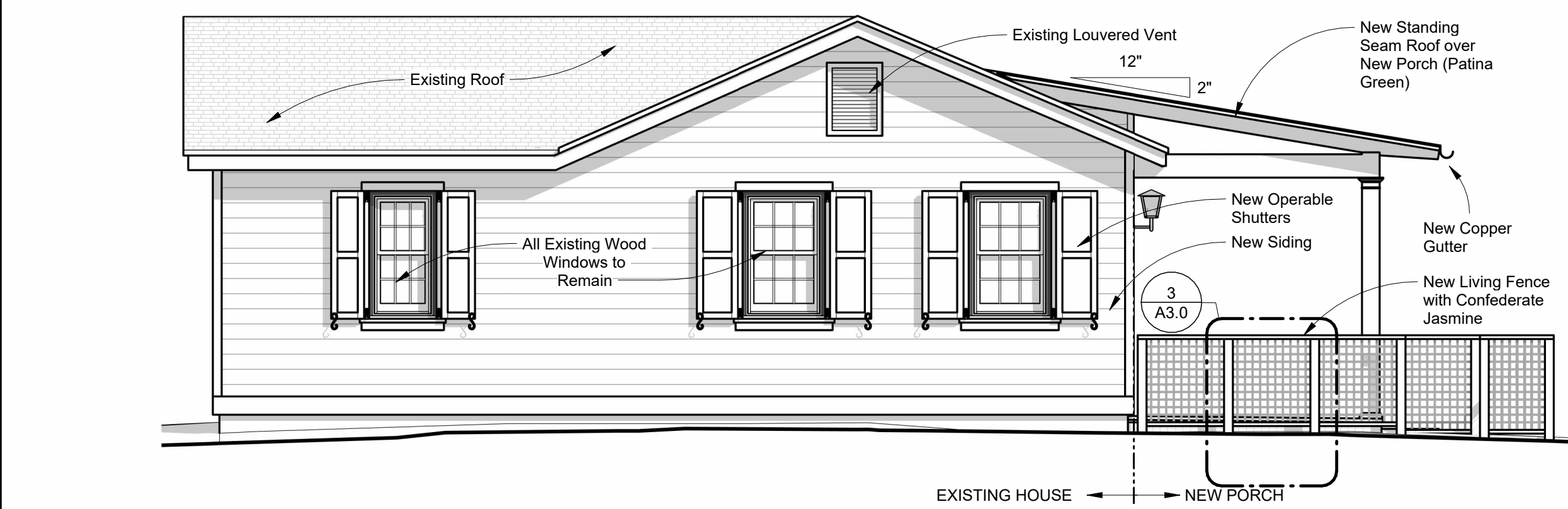
Siding and Trim Color	SW 7008 Alabaster
Shutter and Accent Color	SW 6192 Coastal Plain
Porch Ceiling	CSP-545 Sheer Bliss
Porch and Walk Brick	Cherokee Brick Dover Bluff - Georgia Classic Collection
Standing Seam Metal Roof	Patina Green (Sentriclad Architectural Metals - 4M)



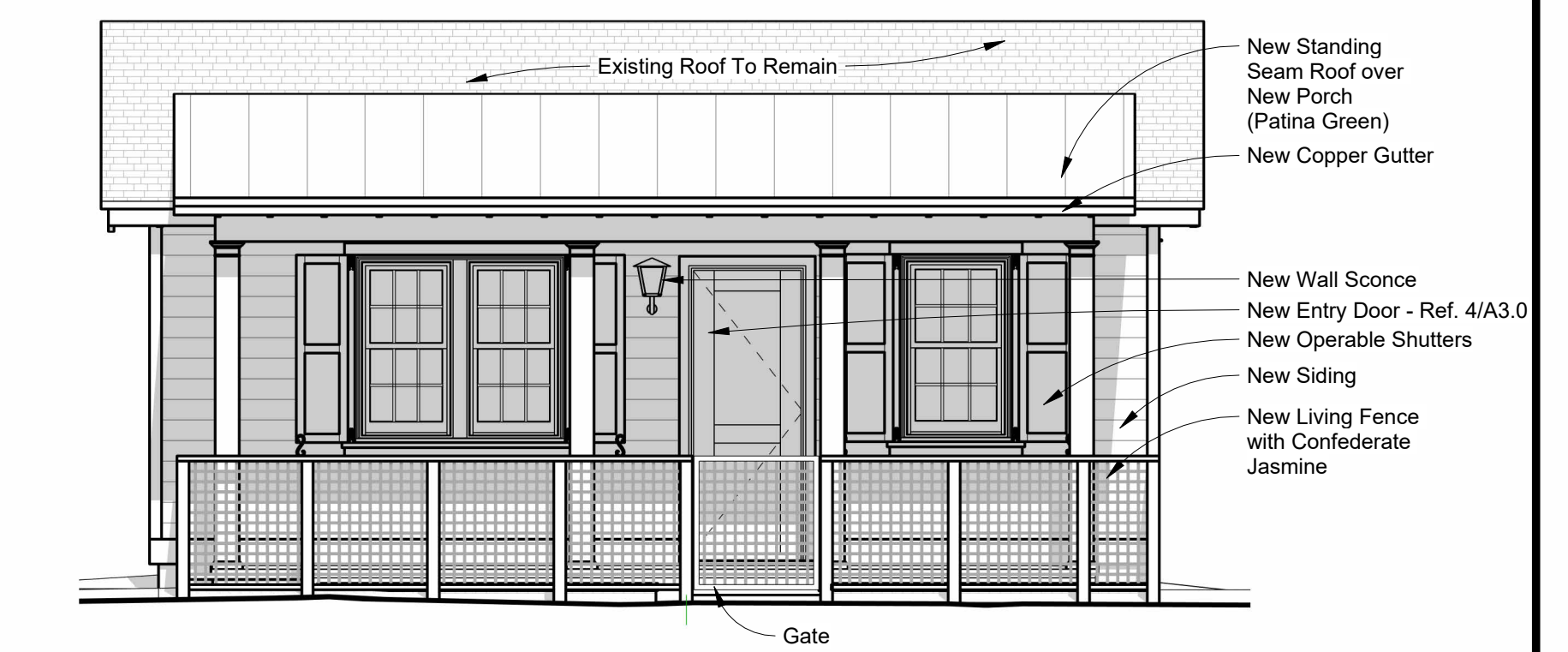
① North  
 1/4" = 1'-0"



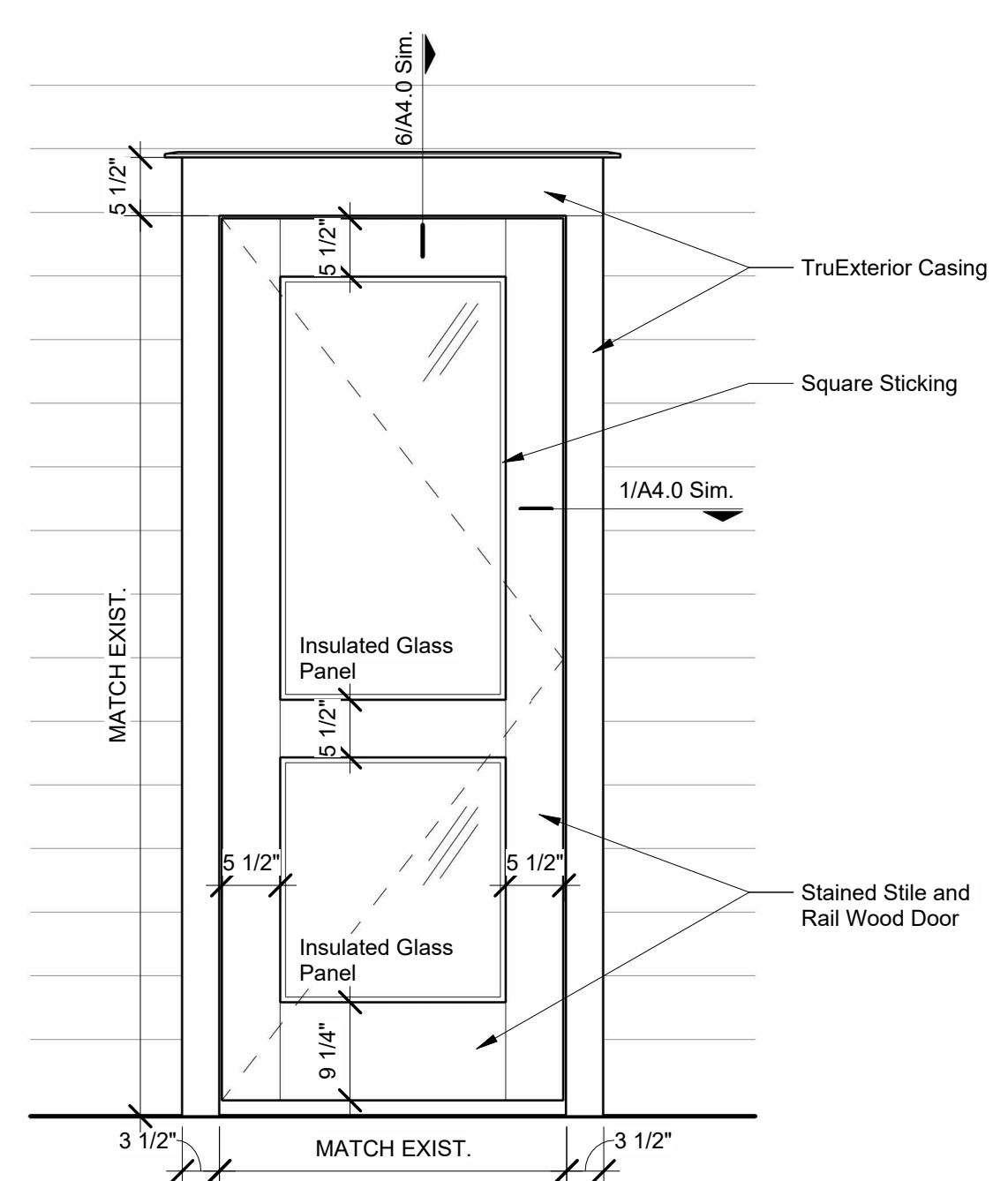
② West  
 1/4" = 1'-0"



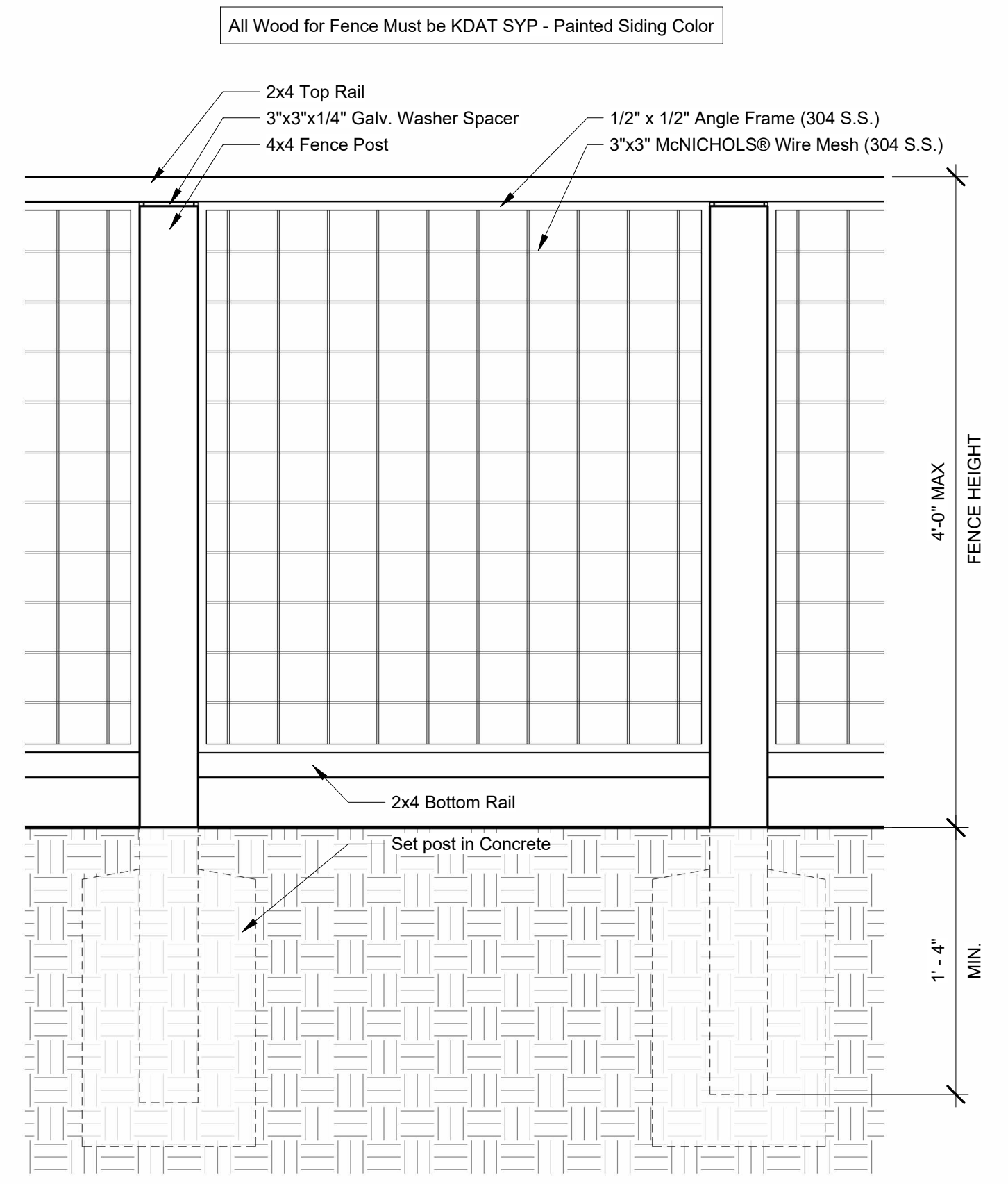
④ South  
 1/4" = 1'-0"



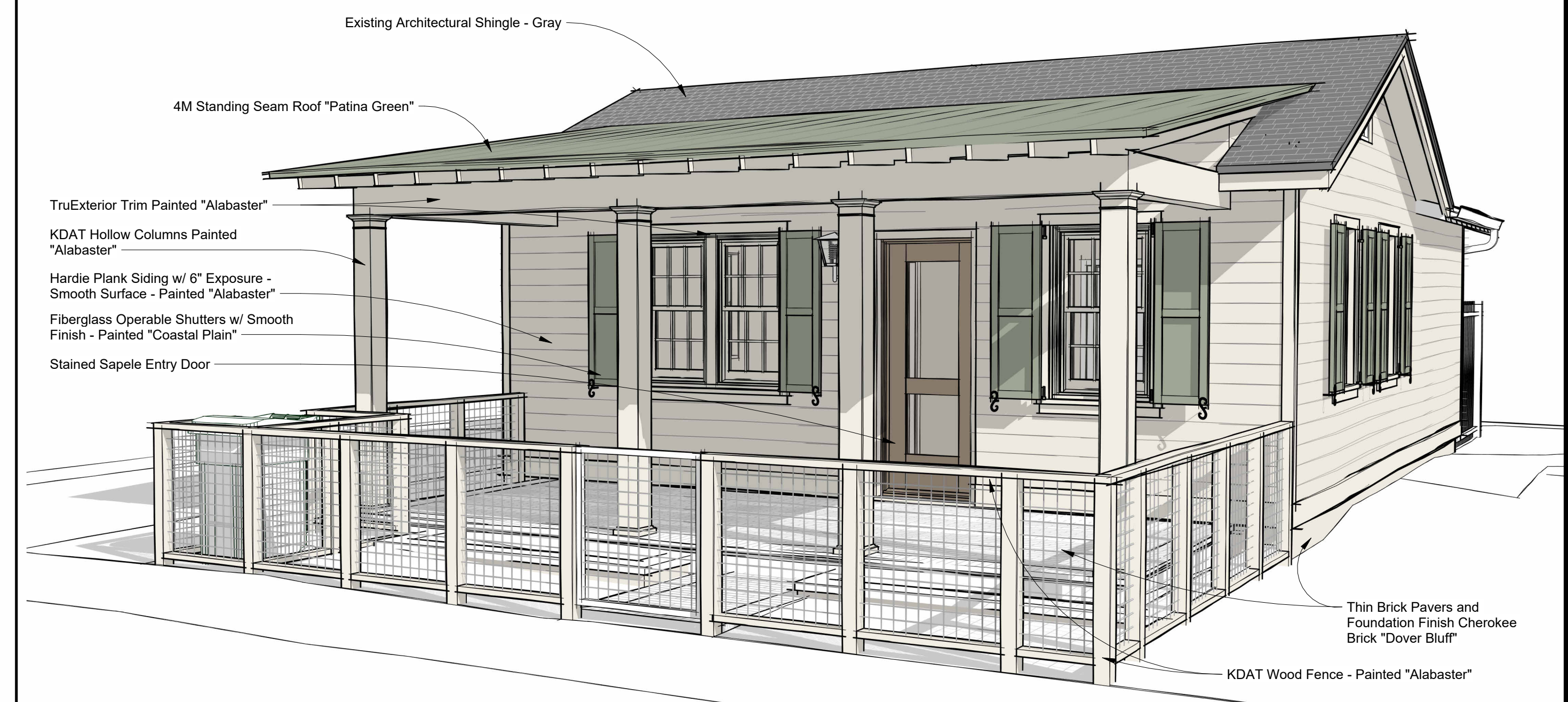
⑤ East  
 1/4" = 1'-0"



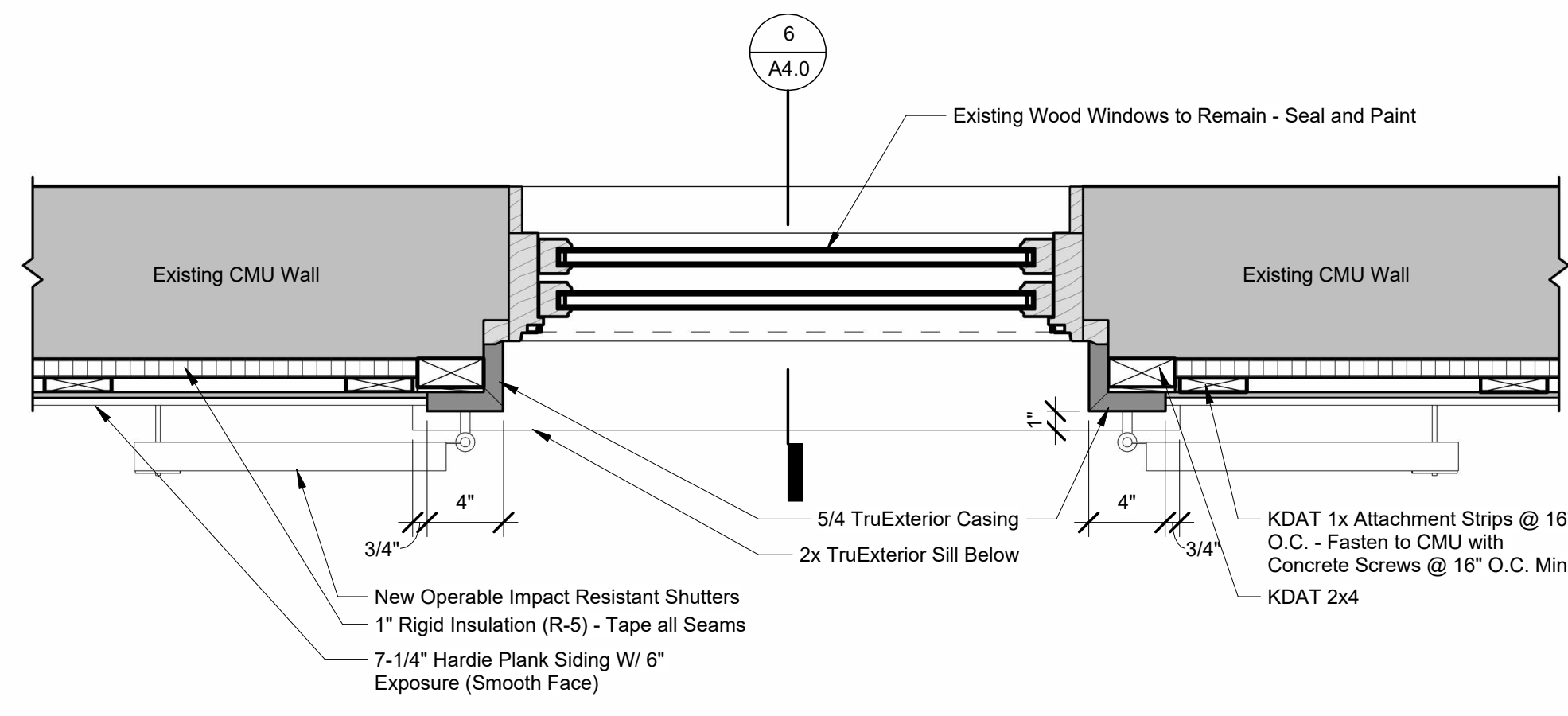
⑧ ENTRY DOOR  
 3/4" = 1'-0"



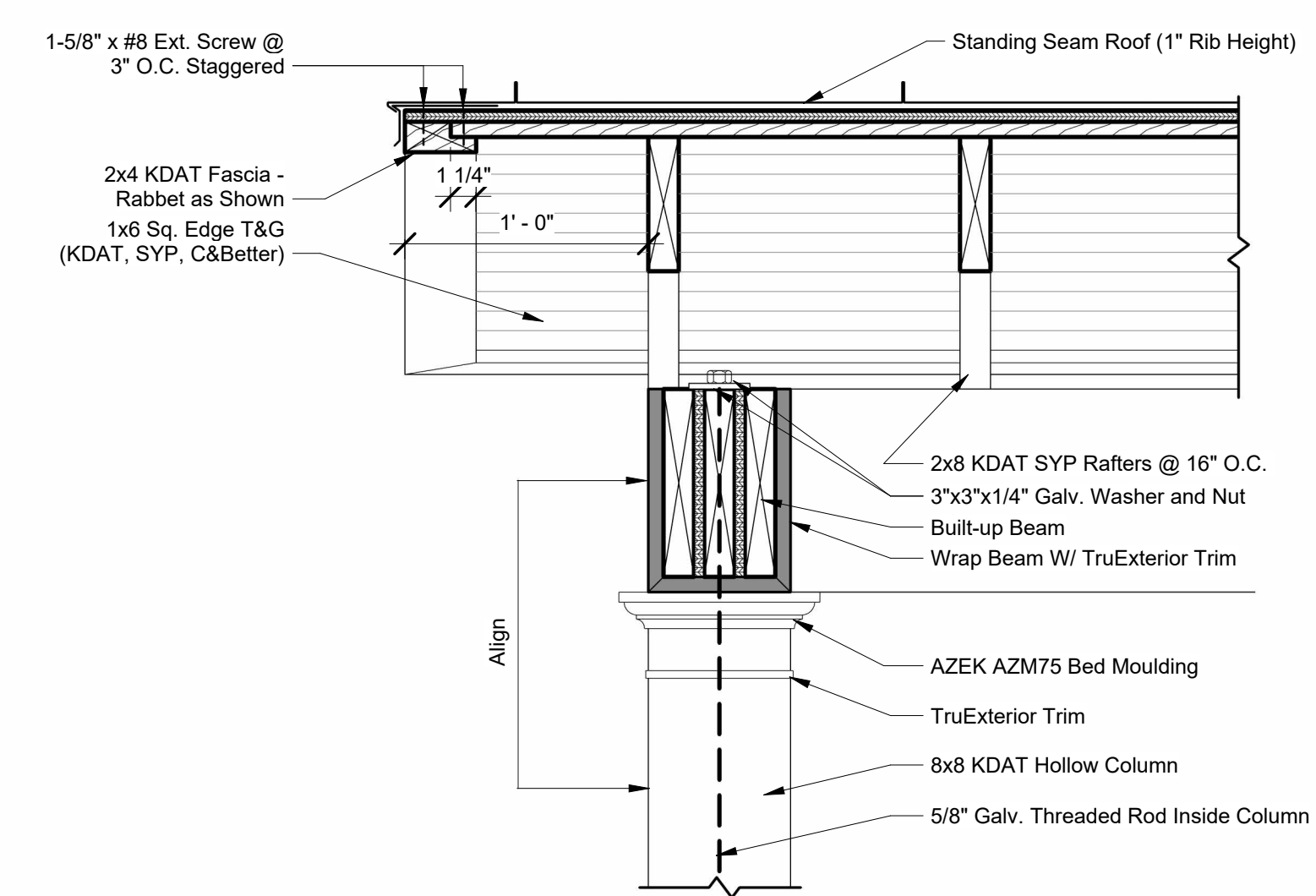
③ FENCE DETAIL  
 1 1/2" = 1'-0"



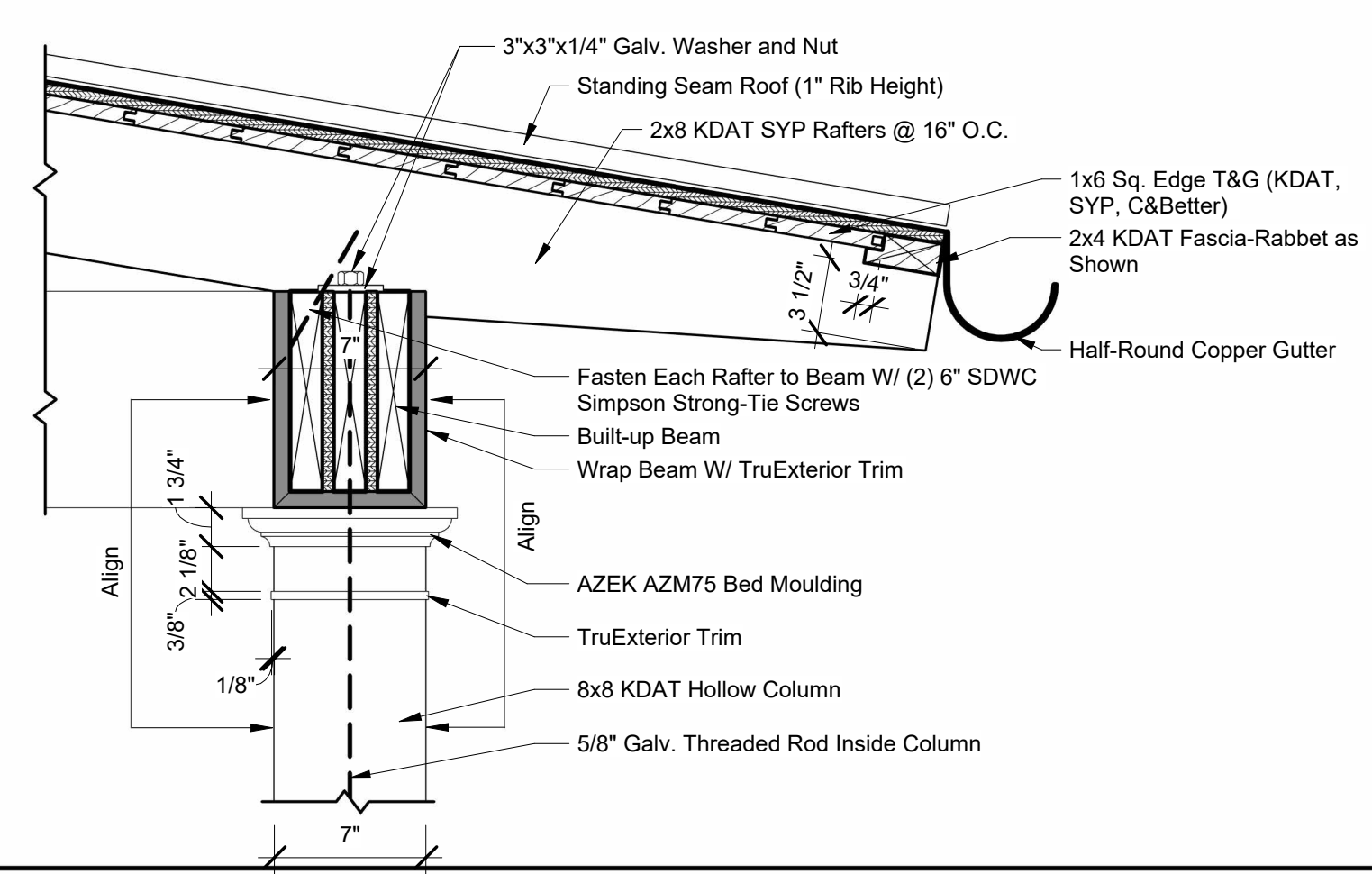
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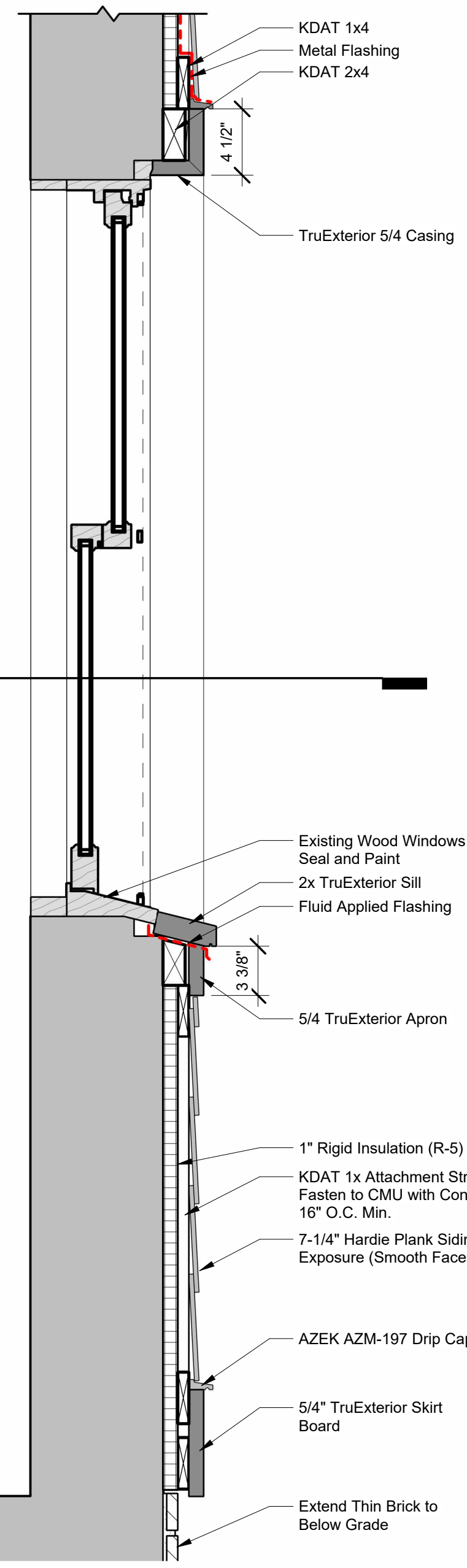
① WINDOW JAMB DETAIL  
 1 1/2" = 1'-0"



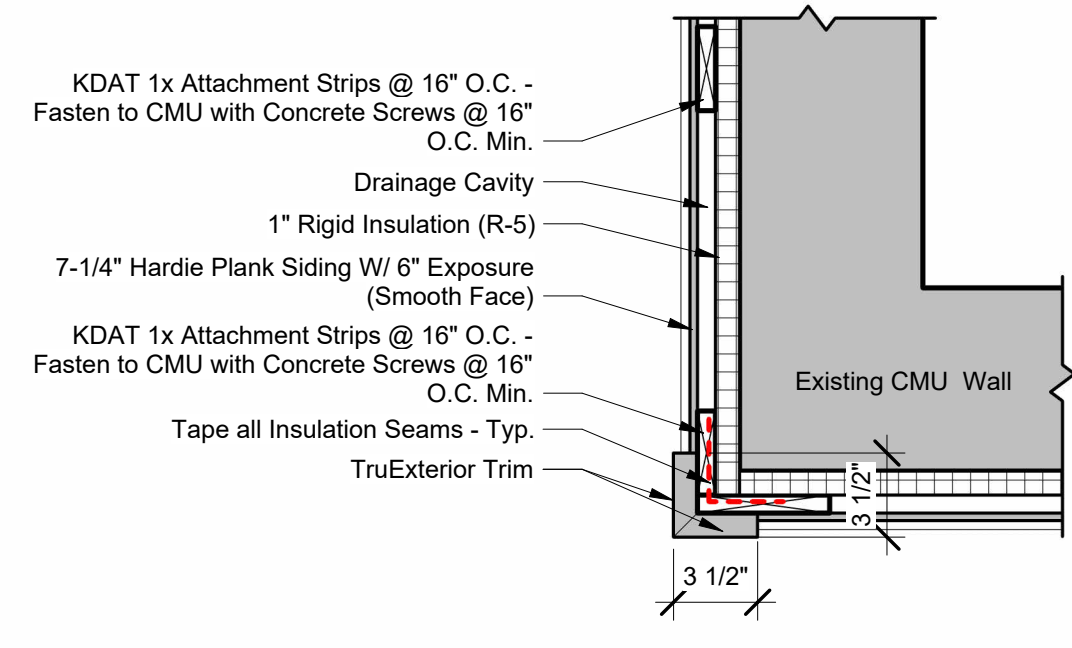
② RAKE DETAIL  
 1 1/2" = 1'-0"



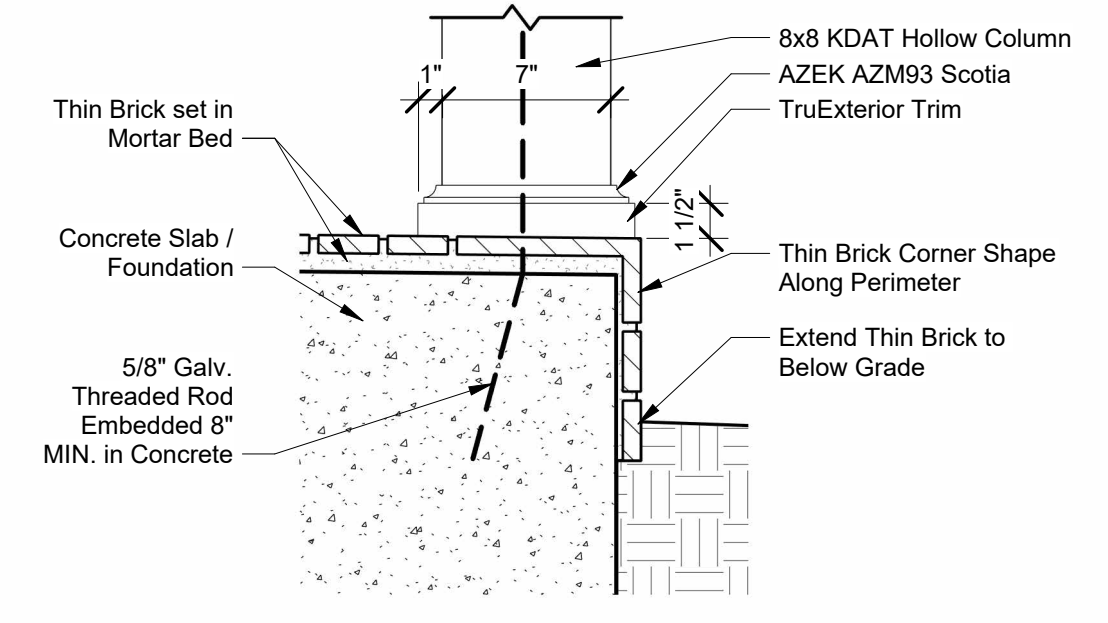
③ EAVE DETAIL  
 1 1/2" = 1'-0"



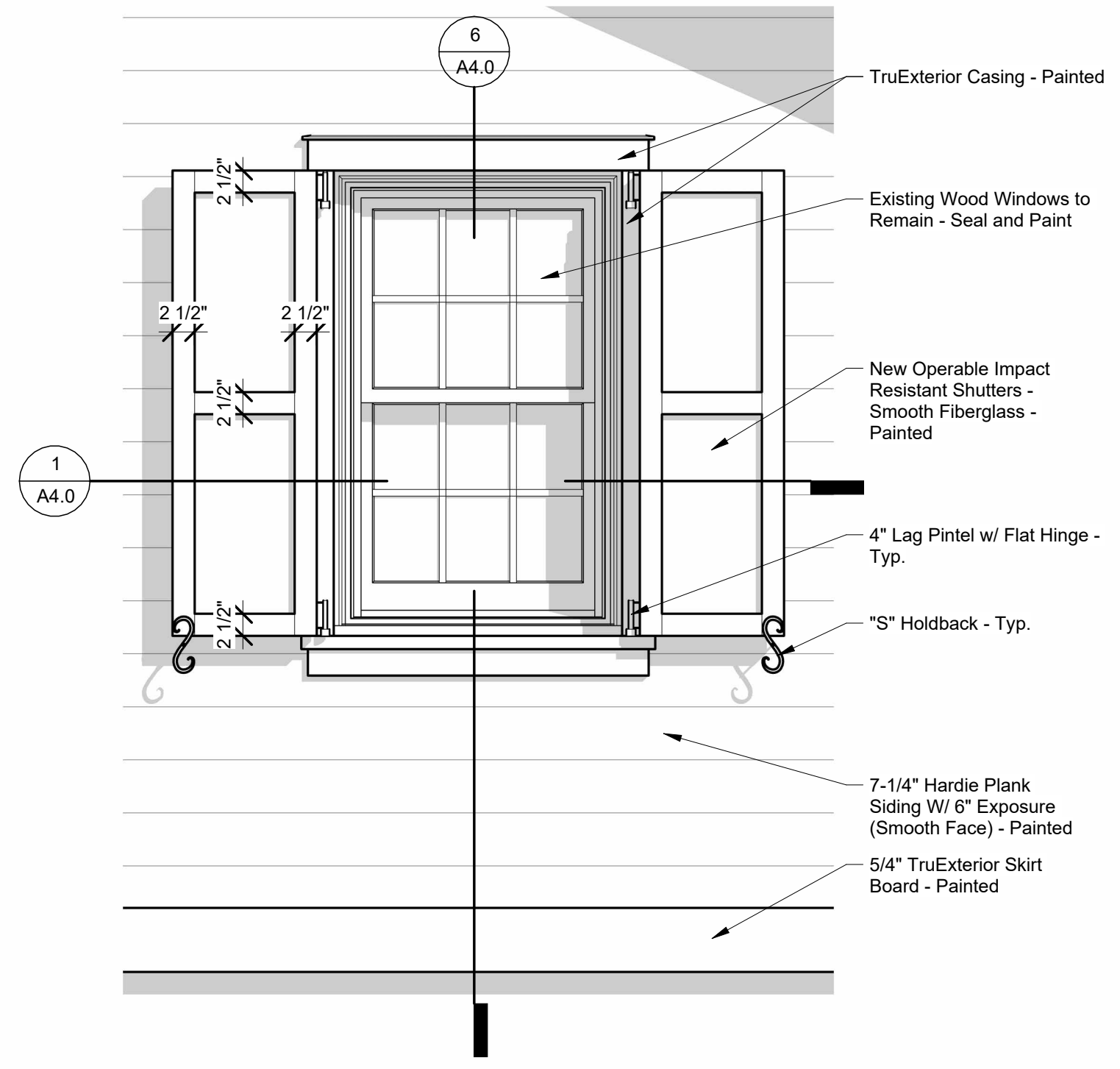
⑥ WINDOW HEAD AND SILL DETAIL  
 1 1/2" = 1'-0"



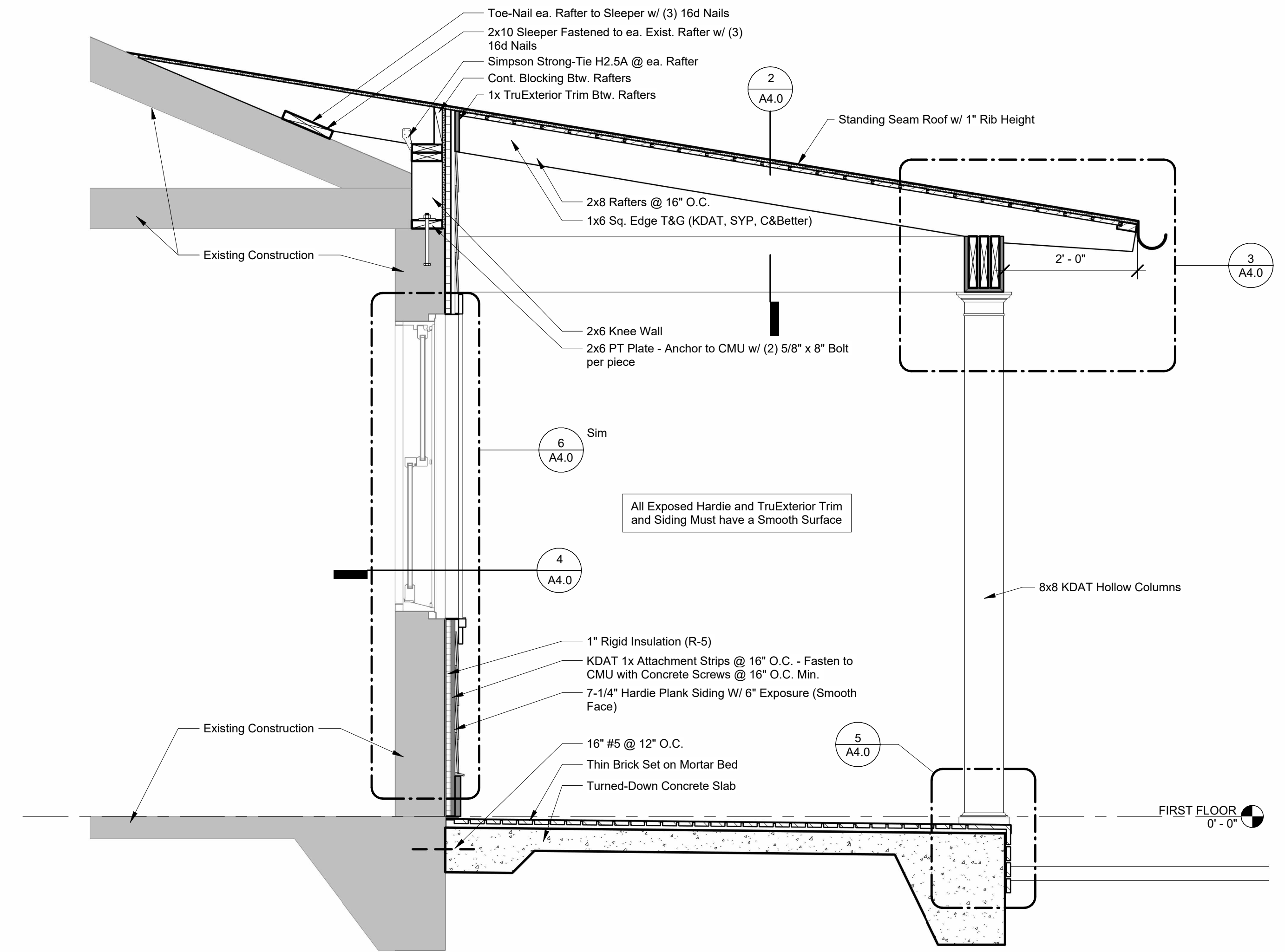
④ CORNER BOARD DETAIL  
 1 1/2" = 1'-0"



⑤ BRICK EDGE AND COLUMN BASE  
 1 1/2" = 1'-0"



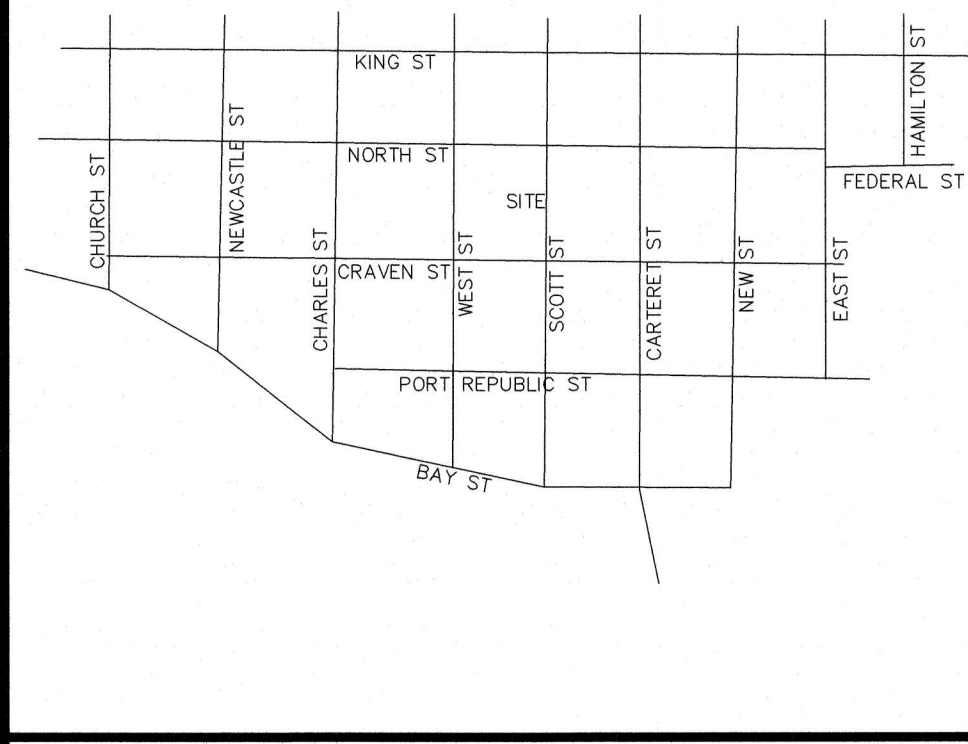
⑦ WINDOW ELEVATION  
 3/4" = 1'-0"



⑧ SECTION AT PORCH  
 3/4" = 1'-0"

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LINE	BEARING	DISTANCE
L1	S 88°11'59" W	7.95'
L2	S 00°48'26" E	4.12'



SITE MAP (N.T.S.)

- NOTES:**
- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
  - 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF THE U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
  - 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
  - 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
  - 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
  - 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  - 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF AN OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
  - 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED, FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
  - 9.) SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
  - 10.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE X SHADED AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 45013C0166G DATED MARCH 23, 2021.
  - 11.) FLOOD ZONE LINES AS SHOWN ARE SCALED FROM MAPS PROVIDED BY FEMA AND DRAWN ON THE LANDWARD EDGE OF THE FLOOD ZONE BORDER.
  - 12.) CONTOUR INTERVAL IS 1'.
  - 13.) VERTICAL DATUM IS 1988 NAVD.

- REFERENCES:**
- 1.) T.M.S.#: R120-004-000-0809-0000
  - 2.) PLAT BY: DAVID E. GASQUE DATED: MAY 1, 2007. PLAT BK/PG: DB-2584/1080 BEAUFORT COUNTY R.M.C. OFFICE
  - 3.) DEED REFERENCE BK/PG: 3981/703

**GASQUE & ASSOCIATES INC.**  
**LAND SURVEYORS PLANNERS**  
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
 P.O. BOX 1363, BEAUFORT, S.C.  
 (843) 522-1798

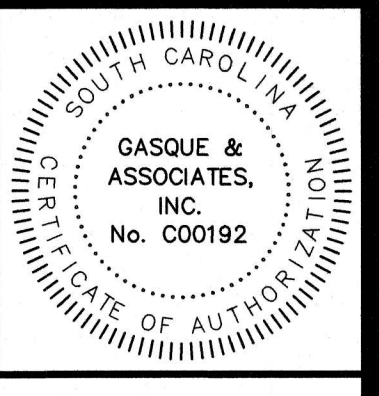
I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my professional knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements as specified therein.

*David E. Gasque*  
 David E. Gasque, R.L.S.  
 S.C. Registration Number 10506

THIS PLAT IS COPYRIGHTED AND IS ONLY INTENDED FOR THE USE OF THE ENTITY OR PERSON(S) SHOWN HERE ON.

**LEGEND OF SYMBOLS & ABBREVIATIONS**

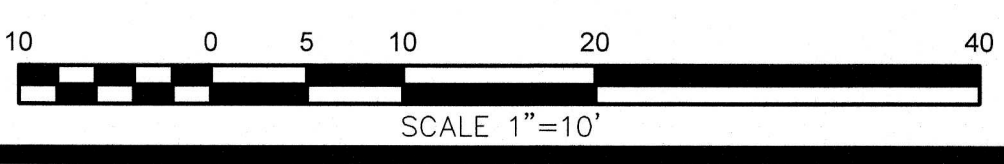
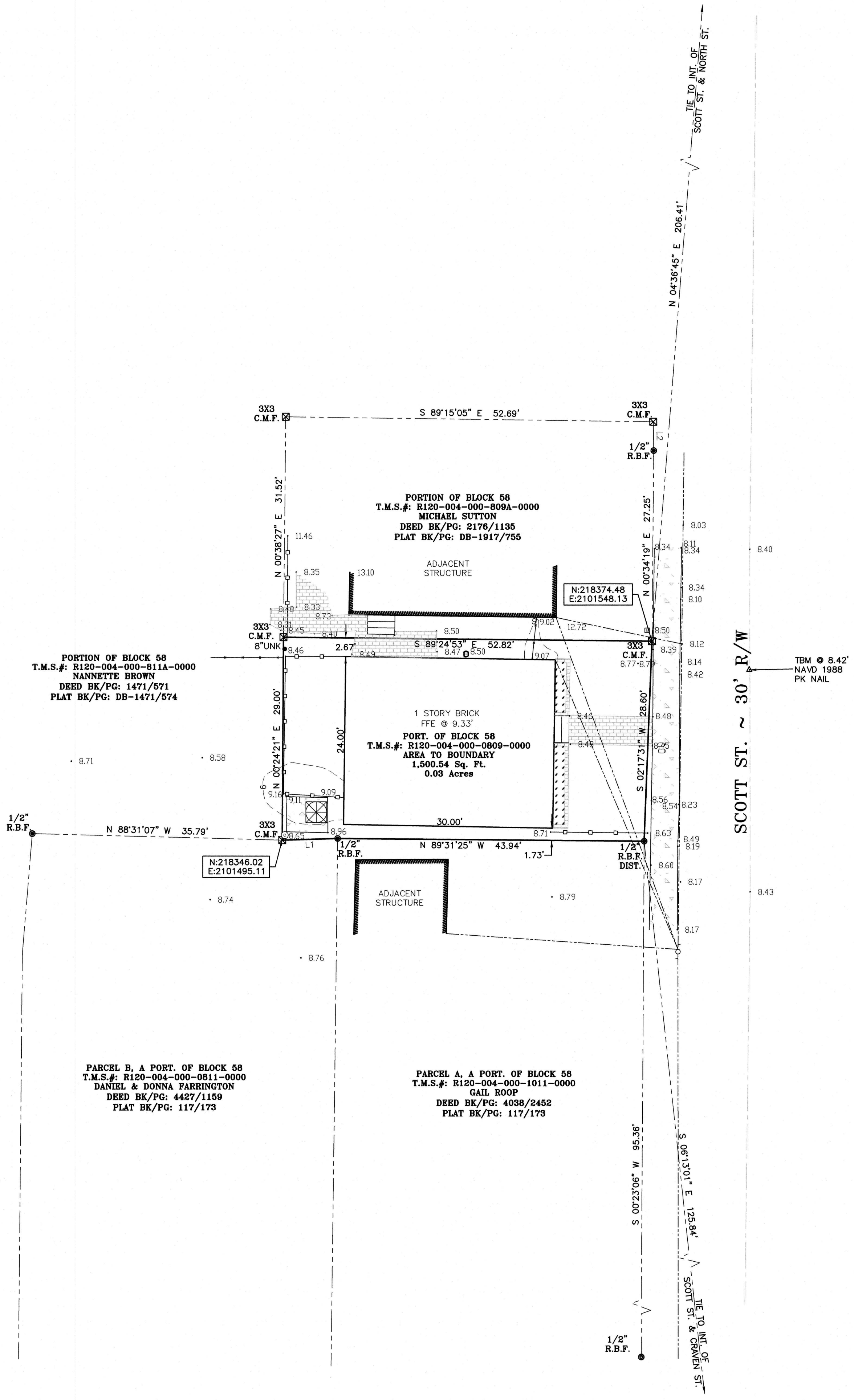
<ul style="list-style-type: none"> <li>□ ELECTRIC BOX</li> <li>○ GAS VALVE</li> <li>— POWER POLE</li> <li>— WATER METER</li> <li>○ CABLE PEDESTAL</li> <li>— AIR CONDITIONER</li> <li>— CONCRETE MARKER</li> <li>— IRON ROD</li> </ul>	<ul style="list-style-type: none"> <li>— CENTER LINE</li> <li>— WOOD FENCE</li> <li>— ADJOINERS</li> <li>— FLOOD LINE</li> <li>— CRITICAL LINE</li> <li>— WIRE FENCE</li> <li>— OVERHEAD WIRE</li> <li>— CONTOUR LINE</li> </ul>	<ul style="list-style-type: none"> <li>CONCRETE</li> <li>BRICK</li> <li>PLANTER</li> <li>TREE SIZE &amp; TYPE</li> <li>ELEVATION</li> </ul>
--	--	---



**TREE LEGEND**

CODE	COMMON NAME	BOTANICAL NAME
FIN	FINE SHREDLEAF	Pinus schweletii
PNL	PINE LONGLEAF	Pinus palustris
LD	LIVE OAK	Quercus virginiana
O	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HI	MOCKERNUT HICKORY	Carya spp.
BAY	BAY MAGNOLIA	Gordonia spp.
WX	WAX MYRTLE	Myrica cerifera
CH	BLACK CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapium sebiferum
PO	YELLOW POPLAR	Liriodendron tulipifera
BI	BIRCH	Betula spp.
CY	BALDCYPRESS	Taxodium distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
FE	FECAN	Carya illinoensis
CR	GRAPEMYRTLE	Lagerstroemia indica
FR	FRUIT TREE	Morus spp.
MP	MAPLE	Morus spp.
DW	DOGWOOD	Cornus florida
GLM	SWEETGUM	Nyssa sylvatica
WO	WATER OAK	Quercus nigra
LA	LAUREL OAK	Quercus laurifolia
TUL	TULIP TREE	Liriodendron
BJO	BLACKJACK OAK	Quercus marilandica
UNK	UNKNOWN	
CRA	CRAB APPLE	Malus sylvestris
MUL	MULBERRY	Morus
MIM	MIMOSA TREE	Albizia julibrissin
WHO	WHITE OAK	Quercus alba
TO	TURKEY OAK	Quercus cerris
RO	RED OAK	Quercus rubra
HOL	HOLLY	Aquifolias
WIL	WILLOW TREE	Salix alba
TU	TUPELO	Nyssa yunnanensis
CHB	CHINABERRY	Melia azedarach
CW	DOTTUNWOOD	Populus
CL	CHERRY LAUREL	Prunus laurocerasus
WAL	BLACK WALNUT	JUGLANS NIGRA
CAM	CAMPHOR	CAMPHOR OFFICINARUM
BSW	BASSWOOD	TILIA AMERICANA
ASH	WHITE ASH	FRAXINUS AMERICANA

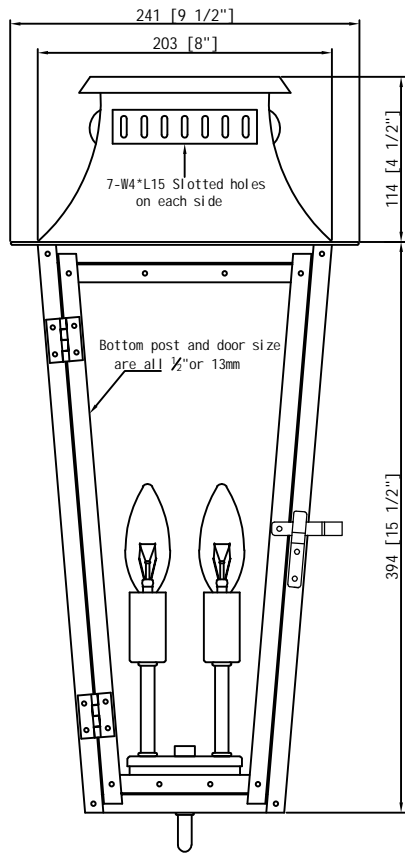
ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE.  
 \*NOTE\* ANY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE ASSESS UPON.



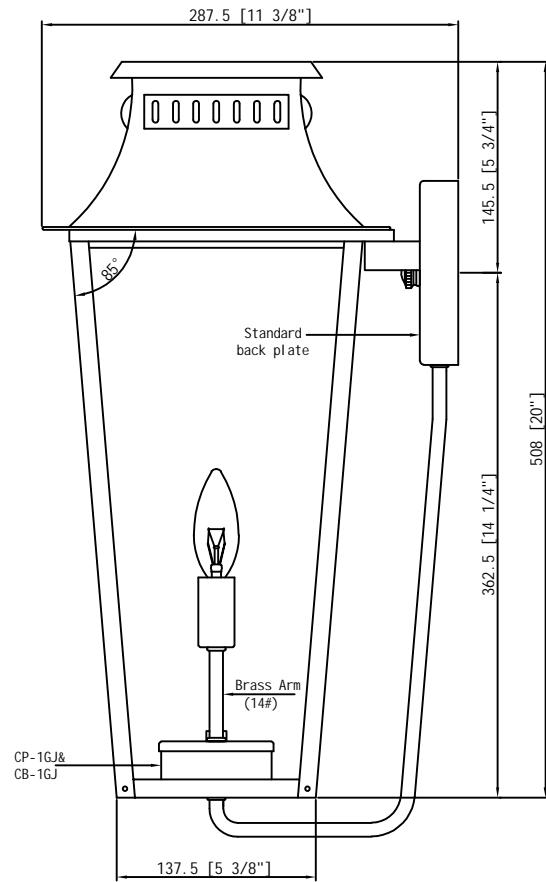
ASBUILT, TREE & TOPOGRAPHIC SURVEY  
 PORTION OF BLOCK 58  
 ~PREPARED FOR~  
 HANNAH ZOE FULTON  
 CITY OF BEAUFORT  
 BEAUFORT COUNTY---SOUTH CAROLINA

DATE: MAY 28, 2025 SCALE: 1"=10'

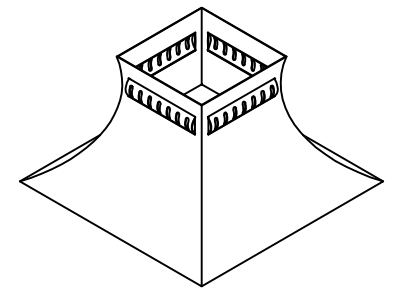
JOB#: 61597 F.B.#: 1173/3 MH DRAWN BY: CMG



Front View



Right View



3D Drawing for top spit caps

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 FRACTION ± 1/32 - ANGULAR ± 1/2°  
 .0 ± .010 - .00 ± .005 - .000 ± .0025

MATL	
ASSY	

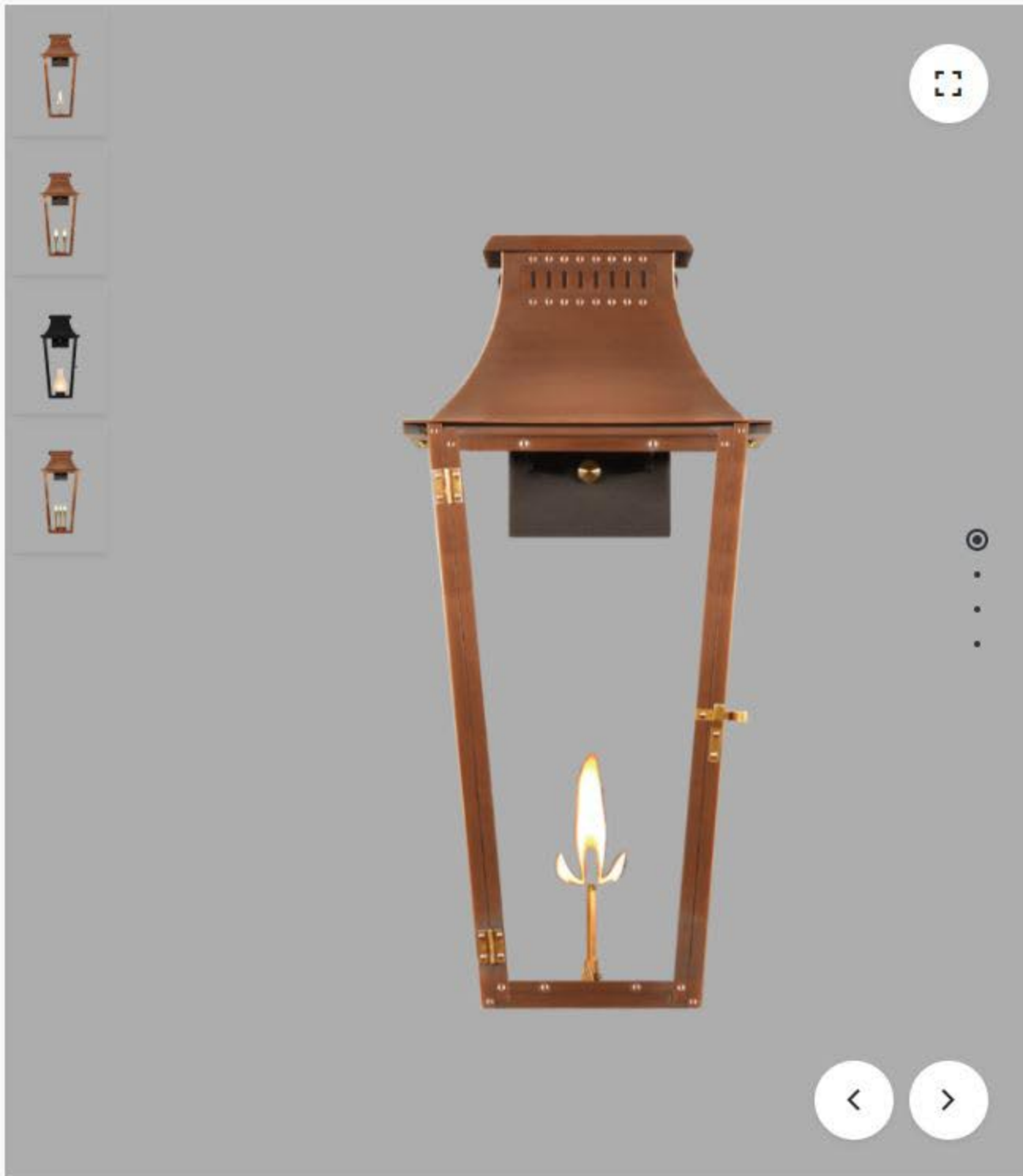
REVISION DESCRIPTION

REV: A/0			
DATE: 04/18/2024			
DRAWING BY: Jason Huang			
	APPD		
	APPD		
	QTY		
	JOB NO.		
	DATE		
	SCALE		

The CopperSmith (BDT)

9152 Hard Drive  
 Foley Alabama 36536

NAME	
DRAWING NUMBER	EB-20E
SHEET NUMBER	



EAST BAY COLLECTION



## *East Bay Collection*

Experience Charleston's charm with the East Bay Lantern, a tribute to the city's architectural heritage and the elegance of East Bay Street. Crafted from solid copper, this lantern offers a warm, inviting light that transforms any space. Whether illuminating a front porch or enhancing an outdoor retreat, the East Bay brings Charleston's timeless beauty to your home, ensuring it remains a part of your story for years to come.

Please view your available mount and accessory options below. For more information, select the How to Order button.

FINISHES:



ANTIQUE  
COPPER



MATTE  
BLACK



GRAPHITE



OIL RUBBED  
BRONZE



HOW TO ORDER



**Name :** Carmel "By The Sea" Chandelier

**Item Number :** LCO-KC-376

**Dimensions :** 61"L x 36"W x 38"H

**Canopy :** 6" Round

**Material :** Steel

**Bulb/Wattage :** 4/40C

**Shown In :** Aqua Marine Body

**Finishes :** Our light fixture finishes are designed to be as lively and ever-changing as the Lowcountry landscape itself. Providing depth and characters to your custom design, our finishes reflect the unique beauty of the coastal landscape and produces a beautiful, natural patina as they age. Our nature-inspired finishes are truly a living art and not only protect your piece, but create a amore beautiful luster with time.

**Weight :** 99 lbs

**Description :** The Carmel "by the Sea" Chandelier offers soft, elongated arms and timeless form in round or oval styles. Understated and luminous, it's a versatile piece that brings warmth and sophistication to any setting.



Image File Name: F786-WHF.jpg

Item # <b>F786-WHF</b>	UPC Code: <b>706411058684</b>
Product Family Name: <b>Simple</b>	Finish: <b>Flat White</b>
Category: <b>EXTERIOR FAN</b>	Category Type: <b>Ceiling Fan</b>
Certification <b>4009339</b>	
Patents:	
Notes:	



## MEASUREMENTS

Blade Finish:	Reversible Blades: <b>No</b>		
Blade Material: <b>ABS</b>	Slope: <b>Yes</b>		
Blade Sweep: <b>44"</b>	No. of Blades: <b>3</b>	Blade Pitch: <b>26 DEGREES</b>	Hanging Weight: <b>9.26</b>
Downrod 1: <b>6</b>	Downrod 1 Outside Dia: <b>.75</b>	Downrod 2: <b>8"</b>	Downrod 2 Outside Dia:
Ceiling to Lowest Point: (Dim A) <b>12.63</b>	Ceiling to Blade (Dim B) <b>11.25</b>	Lead Wire:	Motor Size: <b>DC 123x30mm</b>

	Low	Low/Med.	Medium	Med/High	High
<b>RPM:</b>	51				196
<b>Amps:</b>	0.06				0.59
<b>Watts:</b>	3.89				48.06
<b>CFM:</b>	1615.0				5323.0
<b>CFM/Watts:</b>	415.17				110.76

## LAMPING

No. of Bulbs: <b>0</b>	Light Type:	Light Kit Optional: <b>Yes</b>		
Max Bulb Wattage:	Socket:			
Integrated Light Kit: <b>No</b>	Dimmable: <b>No</b>	Ballast:	Rated Life Hours:	Uplight: <b>No</b>
Bulb/LED Included:	Color Temp.:	CRI:	Initial Lumens:	Delivered Lumens:

## GLASS

Description:	Material:
Part No.:	Quantity:
Width:	Height:
	Length:



## CONTROLS

Pull Chain Control: <b>No</b>	Works with Remote Control: <b>Yes</b>	Works with Wall Control: <b>Yes</b>
Reversible: <b>Yes</b>	Included Remote Control: <b>RC400</b>	Included Wall Control:
Smart Control: <b>No</b>	Compatible Remote Control(s):	Compatible Wall Control(s): <b>WC400</b>
Integrated Smart Control:		Compatible Smart Control: <b>BD-1000</b>



## SHIPPING

Carton Width: <b>8.63</b>	Carton Height: <b>9.0</b>	Carton Length: <b>22.75</b>	
Carton Weight: <b>11.0</b>	Carton Cubic Feet: <b>1.023</b>	Small Package Shippable: <b>Yes</b>	
Master Pack Width:	Master Pack Height:	Master Pack Length:	
Master Pack Weight:	Master Cubic Feet:	Multi-Pack: <b>1</b>	Master Pack: <b>1</b>



**ENERGY STAR®**



**Wet Location**



**ETL Intertek**



**WARNING:** Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: [www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov).

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

# Trim

Designed to be used in non-load-bearing applications, TruExterior Trim is suitable for ground and masonry contact and moisture-prone areas, which makes it ideal for exterior trim applications such as fascia, door trim, soffits, rake boards and a variety of other applications. There is no need to prime ends or field cuts. Plus, it can be painted any color. TruExterior Trim accepts common high-quality, exterior-grade fasteners and can be installed using standard woodworking tools and methods.

# Phenomenal Performance. Remarkable Workability.

TruExterior Siding & Trim offers both and a lasting look while eliminating the need for gluing, gapping and other cumbersome and costly installation techniques.

## APPLICATION

- Designed for use in non-structural applications
- Suitable for ground and masonry contact
- Can be used in moisture-prone areas
- Installation is the same regardless of the season

## TOOLS

- Installed using proven woodworking tools and methods
- Carbide-tipped blades and bits are recommended for a longer tool life

## FASTENING

- Accepts common high-quality, exterior-grade fasteners that are suitable for the local environment
- Can be fastened close to the edge
- No need for pre-drilling
- No mushrooming

## DURABILITY

- WUI listed
- No need to prime ends or field cuts
- Resists rot and termite attacks\*
- No excessive swelling\*

## PAINTING

- TruExterior products come pre-primed and do require paint
- No need to prime end cuts
- Can be painted with any high-grade exterior paint when following the paint manufacturer's instructions
- Dimensionally stable, promoting long-lasting paint adhesions, even with dark colors\*
- Virtually no moisture cycling, paint last longer than on wood\*
- Traditional exterior-grade caulks and exterior-grade wood fillers are acceptable for filling nail holes

## BEAUTY

- Tighter gaps, minimal movement—it will move less than PVC and vinyl
- True look of cedar, real architectural detail

## WARRANTY

- 20 year limited warranty



Pictured: Board-and-Batten

\*Please see TruExterior Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com. Always follow local building codes and construction best practices. See the complete Installation Guidelines for TruExterior Siding & Trim at TruExterior.com.



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

**Reversible Smooth/Woodgrain Finish**

**BOARD-AND-BATTEN SIDING**

Whether a Modern Farmhouse design or creating accents on a gable, board-and-batten is one of the hottest trends in home exterior design. And it's easy to create the board-and-batten look using just TruExterior Trim.

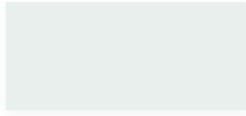


*TruExterior Trim comes pre-primed and does require paint.*



# STANDARD STOCKED ARCHITECTURAL COLOR PALLETTE

## CORE COLORS



Regal White □  
SR: .70 IE: .85 SRI: 85



Bone White □  
SR: .68 IE: .86 SRI: 82



Stone White Δ  
SR: .62 IE: .85 SRI: 73



Almond Δ  
SR: .63 IE: .86 SRI: 75



Sandstone Δ  
SR: .47 IE: .86 SRI: 53



Sierra Tan  
SR: .30 IE: .85 SRI: 30



Medium Bronze  
SR: .26 IE: .84 SRI: 24



Mansard Brown  
SR: .29 IE: .86 SRI: 29



Dark Bronze  
SR: .26 IE: .84 SRI: 25



Extra Dark Bronze-  
SR: .05 IE: .89 SRI: -1



Patina Green  
SR: .25 IE: .87 SRI: 24



Classic Green  
SR: .25 IE: .86 SRI: 24



Hartford Green~\*\*  
SR: .10 IE: .86 SRI: 4



Teal\*\*  
SR: .28 IE: .87 SRI: 28



Military Blue  
SR: .31 IE: .87 SRI: 32



Slate Blue  
SR: .27 IE: .86 SRI: 26



Regal Blue\*\*  
SR: .30 IE: .86 SRI: 30



Terra Cotta  
SR: .39 IE: .85 SRI: 42



Banner Red\*\*  
SR: .44 IE: .86 SRI: 49



Colonial Red  
SR: .31 IE: .87 SRI: 31



Brandywine\*\*  
SR: .27 IE: .87 SRI: 27



Dove Gray  
SR: .49 IE: .87 SRI: 56



Slate Gray Δ  
SR: .37 IE: .86 SRI: 39

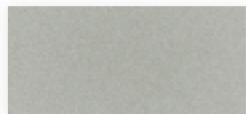


Charcoal  
SR: .08 IE: .90 SRI: 4.0

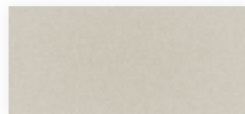


Matte Black  
SR: .26 IE: .86 SRI: 25

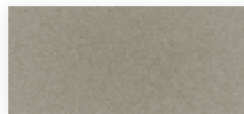
## MICA COLORS



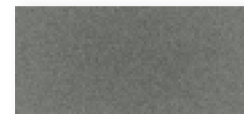
Bright Silver Δ S66\*\*  
SR: .55 IE: .77 SRI: 61



Silversmith Δ S15\*\*  
SR: .48 IE: .80 SRI: 52



Champagne S20\*\*  
SR: .37 IE: .83 SRI: 38



Pewter S11\*\*  
SR: .36 IE: .85 SRI: 38



Bright Copper Δ S25\*\*  
SR: .41 IE: .85 SRI: 44



Aged Copper Metallic\*\*  
SR: .25 IE: .85 SRI: 23

\*\* Featuring a pearlescent mica finish; subject to premium pricing. Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles and under different lighting conditions. Due to product improvements, changes and other factors, we reserve the right to change or delete information herein without prior notice.

□ LEED compliant for low slope and steep slope

Δ LEED compliant for steep slope only

PVDF - 70% polyvinylidene flouride resin paint system

SR = Solar Reflectivity IE = Initial Emissivity SRI = Solar Reflective Index

\*\* DENOTES COLORS SUBJECT TO PREMIUM PRICING

Please check website for most up to date SR, IE, and SRI Values

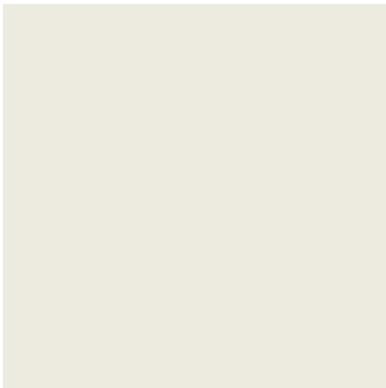
877-495-7663

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FREDERICK + FREDERICK  
*Residential Architects*

## 404 Scott Street Exterior Colors



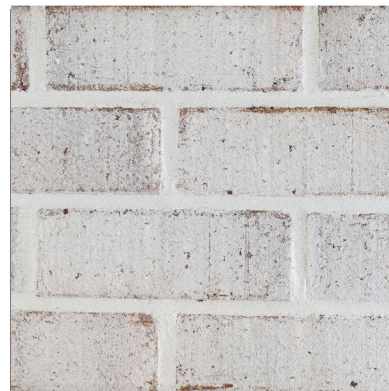
Siding, Trim, & Windows  
Sherwin Williams 7008  
Alabaster



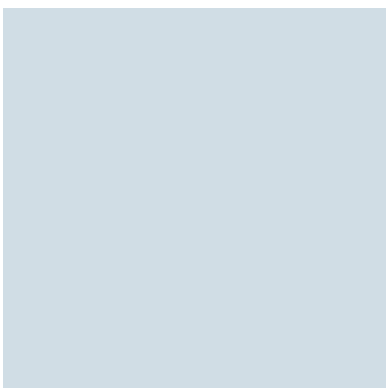
Standing Seam Metal Roof  
4M Metals  
Patina Green



Shutter & Accent Color  
Sherwin Williams 6192  
Coastal Plain



Brick for Porch & Walk  
Cherokee Brick- Georgia Classic Collection  
Dover Bluff



Porch Ceiling  
Benjamin Moore CSP-545  
Sheer Bliss



# STAFF REPORT: Historic District Review Board (HRB)

## 404 SCOTT STREET

DATE: August 13, 2025

### GENERAL INFORMATION

Applicant:	Thomas Rhodes (Architect)
Site Address / Tax PIN:	404 Scott Street; R120 004 000 0809 0000
Applicant's Request:	<p>Applicant is requesting approval for the following exterior changes:</p> <ul style="list-style-type: none"> <li>• Addition of a covered porch, with a brick walkway leading out to the sidewalk</li> <li>• New shutters, new siding, new living fence</li> <li>• Existing windows and shingle roof to remain; porch roof to be a standing seam metal roof and tie into existing asphalt shingle roof</li> </ul>
Current Zoning:	T4-NEIGHBORHOOD DISTRICT (T4-N)
Contributing/Neighborhood	Noncontributing – Old Commons (ca. 1960)
Flood Zone/Base Flood	Flood Zone: SX, Elevation: 9'
Existing Trees	No Specimen/Landmark trees are affected by this request.

### ZONING DISTRICT INFORMATION

#### T4-NEIGHBORHOOD DISTRICT (T4-N)

Lot Width at Setback:	N/A
Minimum Lot Size:	N/A
Max Lot Coverage:	70% of lot area (This percentage indicates maximum lot coverage by roofs; total impervious coverage may be an additional 10%. Parcels may also be subject to Section 8.3 - Stormwater)
Min. Frontage Build Out	60% min; 85% max
Front Setback	0 ft -15 ft
Side Setback	Corner: 0 ft – 10 ft; Interior: 5 ft min., 0 ft if attached
Rear Setback	10 ft min; from alley: 0 ft.
Building Height:	<p>Primary Structures: 4 stories max; 3.5 stories max in &amp; fronting Historic District &amp; interior lots along Allison Rd</p> <p>Accessory Structures: 2 stories / 30 ft max</p>

### SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS

<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T4-N	406 Scott St (Noncontributing, ca. 1940)	N/A
South: T4-N	801 Craven St (Noncontributing, ca. 2007)	N/A
East: T4-N	403 Scott St (Beth Israel Congregation – Synagogue; contributing, ca. 1907)	N/A
West: T4-N	809 Craven St/402 Scott St (noncontributing, ca. 1975)	N/A

**Background:** The applicant is requesting approval for a covered porch (182 sqft) located at the front of the existing ca. 1960 1-story structure. The project consists of the covered porch with a green standing seam metal roof, a new brick walkway leading to the sidewalk, new shutters, new siding, and a new living fence. The existing wood windows and asphalt shingle roof are to remain. The porch’s standing seam metal roof is to tie into the existing shingle roof. **The applicant has been to one (1) HTRC Meeting on July 2nd, 2025.**

**Project timeline**

Jan. 2025	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
						<b>7/2: HTRC Meeting</b>	<b>8/1: HRB Application Submittal</b>  <b>8/13: HRB Meeting</b>				

**Applicant has been to the HTRC Meeting on July 2nd, 2025 – Summary of discussion points:**

1. **Planning and Zoning:**
  - Noncontributing, ca. 1960
  - Zoned T4-HN
2. **Building Codes:**
  - SX flood zone; 8’-9’ contours
  - Flood ordinance 50% and 33% rule may apply
    - 33% is based on the footprint increase
    - 50% of the cost of construction vs assessed value
3. **Staff Architects (Meadors Architecture):**
  - Staff is supportive of porch addition on structure, with some modifications
    - Staff recommends adding a horizontal beam on the sides of the porch, aligning with the beam across the front of the porch.
    - Staff recommends adding pilasters aligning behind the porch columns
    - The roof appears thin – provide accurate detail
  - Applicant to provide a section through the porch, as well as a typical eave and rake detail.
  - Applicant to note that the living fence cannot exceed a height of 4’-0”.
  - Staff is supportive of either keeping the existing painted CMU uncovered, or applying the siding since this is a noncontributing structure. Applicant to clarify what material the siding will be. Please note that vinyl siding is not permitted in the historic district. Cementitious siding must have a smooth finish.
  - Provide a detail showing how the new siding will terminate at the skirtboard, as well as the windows and doors (drawings show new casings around windows and doors).
  - Applicant has noted that the porch floor will be brick. Applicant to provide a detail of the brick and concrete slab.
  - Staff is supportive of shutter addition. Applicant to note that shutters must be operable with operable hardware. Faux shutters are not allowed. Shutters cannot be vinyl.

- Staff recommends the applicant keep the rectangular louvered vent detail (replace in-kind if needed), rather than install a circular vent. Circular vents are not a common detail in the historic district.
- Applicant to provide material cutsheets for the following:
  - Brick
  - Standing seam roof
  - Paint colors
    - Siding
    - Shutters
    - Living fence
    - Columns/porch trim

4. **Historic Beaufort Foundation (HBF):**

- Recommend to maintain the CMU siding

**Tree Removal Proposed:**

No Specimen/Landmark trees are affected by this request.

**Surrounding Area:**

Located in the Old Commons neighborhood, the property lies on the west side of Scott Street facing east, close to the intersection of Scott Street and Craven Street. The property is classified as a noncontributing structure, with the north and south properties also being noncontributing structures, and the Beth Israel Congregation Synagogue (ca. 1907) directly across the street from the property.

**Determination of adequate historic integrity for New Construction, Infill, Additions and Demolition:**

As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within the Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations in table below.

<b><u>4.7.2 Integrity Guidelines (as per Beaufort Development Code)</u></b>	<b><u>Rationale Present</u></b>	<b><u>Staff Analysis of Rationale</u></b>
<b>1. Location:</b> This is the relationship between the property and its historical context.	<b>YES</b>	✓ 404 Scott Street is located within the Old Commons neighborhood of the Historic District. Staff believes the proposal would not impact the relationship between the property and its historical context within the area.

<p><b>2. Design:</b> This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details.</p>	<p><b>YES</b></p>	<p>✓ Front porches are an integral feature in Beaufort. Along with the other design features proposed, staff believes the proposal will not negatively alter the streetscape, nearby site elements, or the spatial relationship with nearby buildings.</p>
<p><b>3. Setting:</b> This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.</p>	<p><b>YES</b></p>	<p>✓ Staff believes the relationship between the house and the historic setting of the neighborhood are not impacted by the proposal.</p>
<p><b>4. Materials:</b> These are the physical elements that make up a property or district.</p>	<p><b>YES</b></p>	<p>✓ Per the preservation manual, the proposed materials are appropriate for the Historic District. While staff would have preferred to leave the CMU uncovered, hardie plank is an acceptable siding material for a noncontributing structure. The standing seam metal roof for the porch is also appropriate.</p>
<p><b>5. Workmanship:</b> This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected.</p>	<p><b>YES</b></p>	<p>✓ Staff believes the workmanship of the existing house as well as the surrounding structures will not be impacted by the proposal.</p>
<p><b>6. Feeling:</b> This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected.</p>	<p><b>YES</b></p>	<p>✓ Staff believes the feeling of the existing house as well as the surrounding structures will not be negatively impacted by the proposal.</p>
<p><b>7. Association:</b> This is the direct link between an important historic event or person and a property.</p>	<p><b>YES</b></p>	<p>✓ N/A</p>

## **FINDINGS AND RECOMMENDATIONS**

**Staff is supportive of the following items:**

- 1. Applicant is proposing to clad the structure with a smooth cementitious lap siding. Staff is supportive of this siding but would also be in support of keeping the CMU exposed.**
- 2. Staff is supportive of the proposed light fixture, and requests clarification regarding which finish the applicant plans to select. Staff would be supportive of either the copper or oil-rubbed bronze finish. Staff also recommends the fixture be electric.**
- 3. Staff is supportive of the living fence design and color to match the siding.**
- 4. Staff is supportive of the stained sapele front door.**

**Staff is supportive of the overall project, in that it satisfies the intent of the Beaufort Preservation Manual.**

**However, following aspects should be clarified before considering FINAL APPROVAL:**

- 1. Staff recommends selecting a different color for the standing seam metal roof. Staff has concerns that the “Patina Green” color selected by the applicant will appear too different in color next to the existing dark gray asphalt shingle roof, even though it is a low-slope roof. Staff recommends selecting a gray color to match the existing roof. Staff is supportive of the siding/trim/window color, shutter color, and porch ceiling color.**
- 2. Applicant is proposing fiberglass shutters. Staff may be supportive of fiberglass shutters since this structure is non-contributing, but requests a sample or mockup of a shutter to better understand the appearance of the shutter.**
- 3. The proposed shutters at the ganged window on the front (east) façade do not appear to be wide enough to cover the width of the windows. Staff recommends using bi-fold shutters at these windows with a longer shutter dog to accommodate both panels.**
- 4. Staff recommends reducing the depth of the eave at the front of the porch from 2’-0” to 1’-6” or shorter to better match the eave depths on the existing structure.**