



MEETING AGENDA

The City of Beaufort **HISTORIC DISTRICT REVIEW BOARD**

Wednesday, March 11, 2026, 2:00 P.M.

City Hall, Council Chambers, 2nd Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/82678048938?pwd=2aN1Jg7LmV9eZHa4X0ABXtaNEvdagN.1>

Password: 341097 Meeting ID: 826 7804 8938 Call in Phone #: +1 929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Please note, this meeting will be broadcast via zoom and live streamed on YouTube. You can view the meeting at the City's page; City Beaufort, SC

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Review of Minutes:

A. January 14, 2025, Meeting Minutes

III. Applications:

A. 902 Boundary Street, PIN: R120 004 000 0086 0000, renovation/reuse

Applicant: Mark Sutton, Architect

The applicant is requesting conceptual approval for interior and exterior changes for reuse of a former gas station.

B. 1411 North Street, PIN: R120 004 000 0663 0000, new accessory structures, hardscaping and landscaping upfits

Applicant: Steve Goggins, Architect/Owner

The applicant is requesting conceptual approval for placement of accessory structures, including a 2-car garage, a pool, and a pool house/guesthouse together with improvements to hard-/ and landscaping.

C. 1106 Craven Street, PIN: R120 004 000 1037 0000/R120 004 000 1036 0000, CoA extension

Applicant: Hank Hofford, Developer

The applicant is requesting a Decision/CoA letter extension for previously approved development.

IV. Adjournment

902 Boundary Street

“The Pink Pub”

**Renovation of a Contributing, ca. 1920
1-Story Commercial Building**



STAFF REPORT: Historic District Review Board (HRB)

902 Boundary Street

DATE: March 11, 2026

<u>GENERAL INFORMATION</u>		
Applicant:	Mark Sutton (Architect) for Janelle Baksh (Owner)	
Site Address / Tax PIN:	902 Boundary Street / PIN: R120 004 000 0086 0000	
Applicant's Request:	Applicant is requesting final approval to renovate 902 Boundary Street into a small eatery/pub named "The Pink Pub".	
Current Zoning:	T5-URBAN CORRIDOR (T5-UC)	
Contributing/Neighborhood	Contributing Structure (ca. 1920), - Old Commons	
Flood Zone/Elevations	Flood Zone "X", Lot Elevation: 16' - 17'; Base Flood Elevation: 13' (Beaufort, SC)	
Lot & Structure Size	Lot: 5,438 sqft (0.125 acres) Structure: 860 sqft heated/indoors; 956 sqft unheated/outdoor patios	
<u>ZONING DISTRICT INFORMATION</u>		
<u>T5-URBAN CORRIDOR (T5-UC)</u>		
Lot Width at Setback:	n/a	
Max. Lot Coverage:	100%	
Min. Frontage Build Out	60%	
Front Setback	0 ft - 15 ft	
Side Setback	0 ft min. (interior), 0 ft - 15 ft (at corner/alley)	
Rear Setback	5 ft min, 0 ft if alley	
Building Height:	Primary: 5 stories max; 3.5 stories max in & fronting Historic District Accessory: 2 stories max	
<u>SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS</u>		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T5-UC	Commercial (905/907 Boundary St); Not listed on NHLD	N/A
South: T4-N	Residence (1108 West St; ca. 1900); Contributing 2-story frame dwelling	N/A
East: T5-UC	Vacant lot (810 Boundary St); Not listed on NHLD	N/A
West: T5-UC	Vacant lot (904 Boundary St); Formerly 1965 noncontributing 1-story cmu/brick commercial building - now demolished	N/A

Background: Applicant is requesting approval from the Historic District Review Board Meeting (HDRB) on behalf of the owner to renovate 902 Boundary Street into “The Pink Pub”, a small eatery/pub.

A Commercial Building Permit was issued on 9/10/2019 for “RENOVATIONS – TURNING INTO RESTAURANT, PAINT EXT(ERIOR) IN KIND”. **Project never went to the HRB.** Permit later expired without revalidating.

Per the applicants’ Scope of Work details in their submitted construction plans:

- Project consists of interior renovation/upfit work for an existing 860 square foot retail building
- Existing Building is not fire sprinkled
- With the exception of two new exit doors, the existing building envelope remains unchanged.
- Work includes a new kitchen, wood stud and gypsum board partitions, pre-hung interior doors and frames, and interior painting
- Electrical work includes minor demo, switching, outlets, and connection of new kitchen equipment
- Relocation of an existing outdoor condensing unit and new walk-in cooler
- New HVAC unit & revised duct work

The applicant has previously been to one (1) Technical Review Committee (TRC) meeting on February 17th, 2026.

Project timeline

Jan. 2019	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
								9/10: Original Building Permit Issued			

Jan. 2026	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
	<u>2/17:</u> TRC Meeting	<u>3/11:</u> HRB Meeting									
	<u>2/26:</u> HRB Application Request Submitted										

❖ **Summary of HTRC Meeting from February 17th, 2026:**

1. ***Planning and Zoning:***

- Contributing Structure, ca. 1920.
- Has received permits prior to Covid but expired (2019).
- Structure is a current legal nonconforming structure (due to not conforming with present setbacks and parking space requirements) – possible on-street parking nearby.
- Parking requirements will need to be met. (Beaufort Code Section 5.6.4).

2. ***Transportation:***

- Ideal to have more than one way to access the site, but not a deal breaker.

3. ***Fire:***

- Type 1 hood with suppression required.

4. ***Architecture:***

- Any exterior modifications need to be illustrated on the drawings – no existing and proposed elevations were provided. Provide the old approval.
- Will the new timber beams at the canopy alter the appearance of the building?
- Details on the new wood framed door?
- Details on the new double door to patio?
- Details on wood HVAC screen?
- Details on the trapezoidal windows flanking the chimney?
- Details on the new storage and WIC addition?

Tree Removal Proposed:

N/A

Surrounding Area:

Commercial Boundary Street with a handful of vacant lots in the immediate vicinity.

Parking Plan:

Due to the structure being a (legal nonconforming) contributing historic resource, it is exempt from our strict standards of discontinuation or expansion of use for legal nonconforming structures, per Code Section 11.1.3. The parking requirement of at least 6 spots is met by utilizing the available on-street parking on Charles Street, as can be seen in the image below.



Determination of adequate historic integrity:

As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations in table below.

<u>4.7.2 Integrity Guidelines (as per Beaufort Development Code)</u>	<u>Rationale Present</u>	<u>Staff Analysis of Rationale</u>
1. Location: This is the relationship between the property and its historical context.	YES	✓ 902 Boundary Street is located within the Old Commons neighborhood of the Historic District. Staff believes the proposal is appropriate for the location considering its historical context as a former gas filling station and then as a retail shop(s) later on.
2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details.	YES	✓ Staff believes the design is appropriate for the Historic District.
3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.	YES	✓ Staff believes the proposal is appropriate for the setting.
4. Materials: These are the physical elements that make up a property or district.	TBD/No	✓ Details missing on architectural elements/materials (see Findings and Recommendations section, #2-8).
5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected.	YES	✓ Staff believes the proposal will maintain the original workmanship of the building.
6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected.	YES	✓ Staff believes the proposal will maintain the historic (gas station) feeling of the building.
7. Association: This is the direct link between an important historic event or person and a property.	N/A	

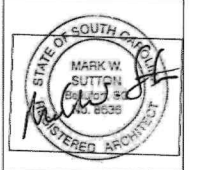
FINDINGS AND RECOMMENDATIONS

Staff Recommendations: Staff recommends **CONCEPTUAL APPROVAL** for the proposed renovation of 1902 Boundary Street, as it satisfies the intent of the Beaufort Preservation Manual and the requirements of the Beaufort Code, with the following recommendations:

- 1) Applicant to rotate the ADA parking space 90 degrees so that it is parallel with the building. With the current layout, cars would have to reverse onto Boundary Street, which cannot and should not be permitted.**
- 2) Existing and Proposed Elevation drawings have not been submitted by the applicant. As such, it is difficult to completely understand the full extent of exterior modifications being proposed.**
- 3) Sheet EC100 on the east facade, the applicant is proposing a new wood door to be cut into existing exterior wall. The applicant states, on sheet A001 that the exterior CMU door and associated H2, J2, and S1 details, that the door is a flush wood door with wood jamb and casings (painted). Google Street View photos show that this door may already exist, though the existing plan and the photos are inconsistent. Applicant to confirm. Staff would rather the applicant consider a wood paneled door for this location which is more compatible with the district.**
- 4) Sheet EC100 on the west façade, the applicant is proposing the removal of a double door and notes prepare for new single door. Sheet A100 shows a new double door and sheet A001 confirms a new double door. Staff supports the double door however, it is not clear whether this is a wood door, wood and glass, or storefront type door. Applicant to confirm. Sheet EC100 on west façade, the applicant is proposing a new wood single door being cut into the exterior CMU wall near the HVAC unit. The proposed door does not show up on sheet A100. Applicant to confirm scope here.**
- 5) Applicant has relocated the HVAC unit to the east façade and is screening with a wood fence painted. Applicant to provide details on the wood fence. This may have already been performed per the Google Street View photo. However, the wood picket fence is in disrepair.**
- 6) Sheet A100, applicant notes two fixed trapezoidal windows to be installed flanking the chimney. However, no elevations were provided to illustrate this condition. Staff is concerned about the compatibility with the structure. These do not exist according to Google Street view.**
- 7) The applicant is proposing on sheet A100 a new Walk-in Cooler with wood framed screen wall and dry storage closet with plywood exterior and simple sloped roof. No elevations have been created to illustrate this condition. Staff is concerned with the aesthetics of the proposed plywood cladding and its compatibility with the building and the district. Staff recommends the applicant submit the necessary elevations and consider lap siding. What material is the proposed roof?**
- 8) The applicant has noted on the plans and provided a detail for shoring up the existing post and beam canopy. Staff supports this structural modification. However, it is not clear from the documents how the structural posts and beams will be concealed. Will they be reclad to match existing conditions?**

THE PINK PUB
902 BOUNDARY ST.
 BEAUFORT, SOUTH CAROLINA

MARK W. SUTTON,
ARCHITECT
 1703 EDINBURGH AVENUE
 PORT ROYAL, SC 29935
 (843) 310-9848
 markwsutton@yahoo.com



CONSULTANTS

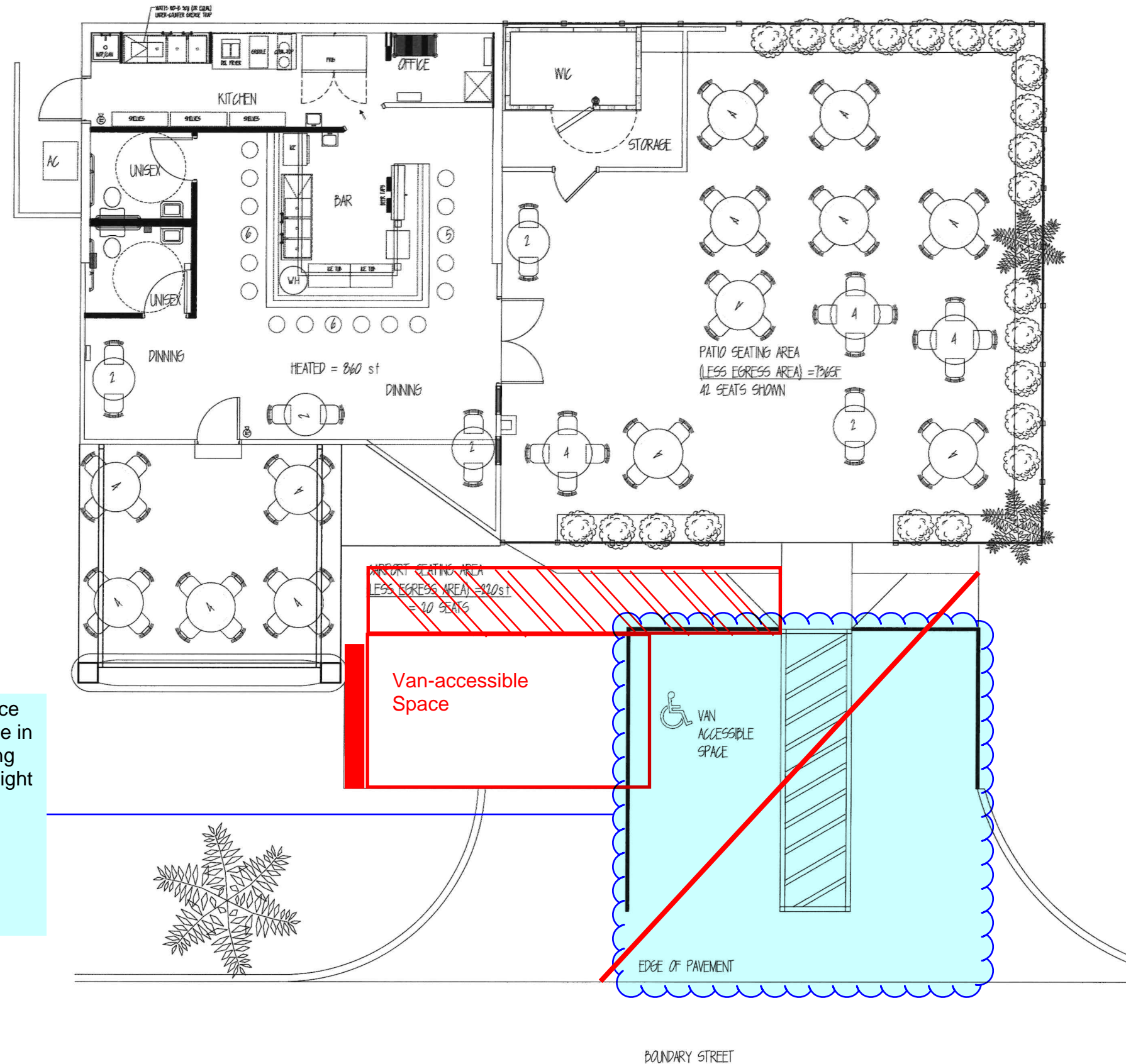
REVISIONS:
 5/10/19 PERMIT ISSUE

DATE: 1/12/25
 PROJECT NO: PINK PUB
 DWN BY: SUTTON
 CHK'D BY: SUTTON

SHEET TITLE
 SUGGESTED SEATING
 LAYOUT &
 HANDICAPPED PARKING

A101

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Note: Please also insert a Vicinity Map with available on-street parking to show for the required six (6) spaces for this proposed restaurant/bar.

The van-accessible ADA compliant parking space needs to be placed parallel with the building (see in red). There is only space for one (1) ADA parking space and room to reverse, before heading straight onto Boundary Street. There must not be any reversing into Boundary Street.



SEATING LAYOUT
 1/4" = 1'-0"



United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Beaufort Historic District
Beaufort County, SC

Section number 7 Page 16

List of Contributing Resources, Continued

Address	Historic Use / Name	Date	Description	Block	Site Number
Bay St., 1411	single dwelling E.A.Scheper House	1895 ca.	2-story frame dwelling	115	1224
Bay St., 1501	civic Beaufort County Courthouse	1936	2-story stucco courthouse	123	1245
Bay St., 1605	single dwelling	1880 ca	2-story frame dwelling, now offices	130	1255
Bay St., 1613	single dwelling	1920 ca.	1-story frame dwelling, now offices	130	1257
Bay St., 1701	single dwelling Capt. John O'Brien House	1880 ca.	2-story frame dwelling	138	1264
Bay St., 1703	single dwelling	1900 ca.	2-story frame dwelling	138	1265
Bay St., 1705	single dwelling William Keyserling House	1910 ca.	2-story frame dwelling, now a bed & breakfast inn	137	1266
Bay St., 1707	single dwelling	1900 ca.	2-story frame dwelling	137	1267
Bay St., 1709	single dwelling	1945 ca.	1-1/2 story frame dwelling	137	2566
Bay St., S side, W, of Charles St.	open space		Open bluff overlooking Beaufort River	91	1082
Bayard St., 313	single dwelling	1945 ca.	2-story brick dwelling	8	2570
Bayard St., 410	single dwelling	1927-28	1-story frame dwelling	15	781
Bayard St., 411	single dwelling Rev. Thomas Ledbetter House	1840 ca.	2-story frame dwelling	14	780
Bladen St., 604	single dwelling	1890	2-story frame dwelling, now offices	129	1252
Bladen St., 807	single dwelling Proctor, Robert, House	1895 ca.	1-story frame dwelling	119	1234
Bladen St., 809	single dwelling	1895 ca.	1-story frame dwelling	119	1235
Bladen St., 813	single dwelling	1915	1-story frame dwelling	119	1236
Bladen St., 901	single dwelling	1915 ca.	1-story frame dwelling	118	1227
Bladen St., 909	single dwelling	1925	1-story frame dwelling	118	1229
Boundary St., 902	commercial	1920 ca.	1-story frame gasoline service station, now a retail shop	62	983
Boundary St., 1204	single dwelling	1925	1-story frame dwelling, now offices	92	1114
Boundary St., 1212	single dwelling	1940	1-story frame dwelling	92	1113
Carteret St., 208	commercial	1925 ca.	2-story brick commercial building	49	912
Carteret St., 302	civic Post Office and Custom House	1917	1-story brick post office, now city hall	48	911
Carteret St., 305	single dwelling	1910 ca.	2-story frame dwelling	37	863

BEAUFORT COUNTY HISTORIC SITES SURVEY - 1997

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 983
Access County Site #

USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): _____ Map Ref.: BFT.09(TL) Tax Number: R120.004.000.0086.0000

Common name(s): Ebony and Ivory Barber Shop City Block Ref.: .62 .04 Island: Port Royal Is.

Address/location: 902 Boundary St. City/Vicinity of (vic.) Beaufort

Date: 1920 ca. Alteration date: _____

Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown

Category: 1. building 2. site 3. structure 4. object

Historic use(s): commercial Current uses: commercial

Notes: former dwelling altered to accommodate Service Station. Now barber shop.

<i>National Register Status:</i>	Date:	Listing Name:	NRIS #
<u>National Register Historic District (NHL, 11/73)</u>	<u>12/17/69</u>	<u>Beaufort Historic District</u>	<u>69000159</u>

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

<i>Previous Survey:</i>	Reference:	Notes:
<input type="checkbox"/> H.A.B.S. <input type="checkbox"/> Other	_____	_____
<input type="checkbox"/> Feiss-Wright (1969)	_____	_____
<input type="checkbox"/> Historic Resources of the Lowcountry (1979)	_____	_____
<input type="checkbox"/> Milner Historic District Inventory (1979)	_____	_____
<input type="checkbox"/> A Guide to Historic Beaufort (1995 ed.)	_____	_____

Photograph:

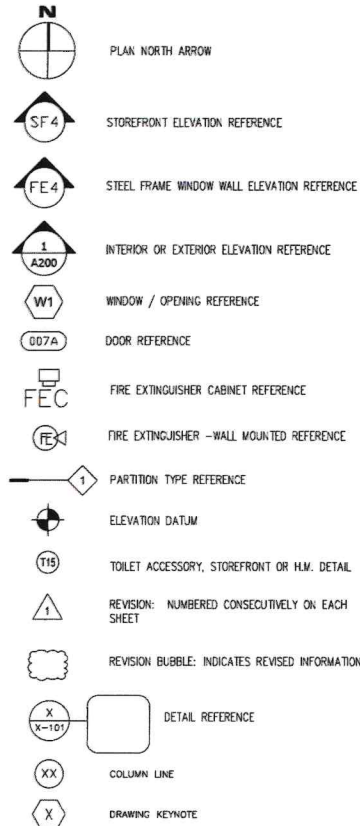
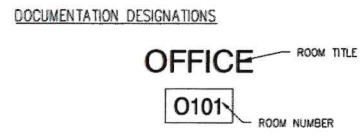
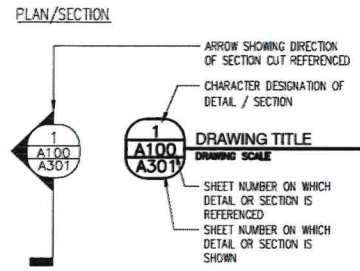


Photographs:
 prints
 slides
 negatives

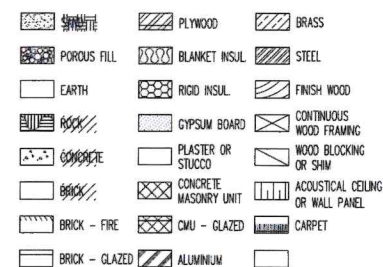
Date: 9/12/97
Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:
B-15 4 N facade & W elev., fac. SE

SYMBOLS & KEYS



HATCH DESIGNATIONS



DRAWING INDEX

CIVIL

N/A

ARCHITECTURAL

T1	COVER SHEET
T2	CODE SUMMARY
T3	CODE SUMMARY CONTINUED
T4	ADA STANDARDS
EC100	EXISTING CONDITIONS & DEMO PLAN
A001	DOOR TYPES & DETAILS, WALL TYPES & DETAILS RESTROOM LAYOUT & DETAILS
A100	OVERALL FLOOR PLAN, BAR SECTION & DETAILS
A101	SEATING LAYOUT & HANDICAPPED PARKING

STRUCTURAL

N/A

MECHANICAL

SEE MECHANICAL DWGS

PLUMBING

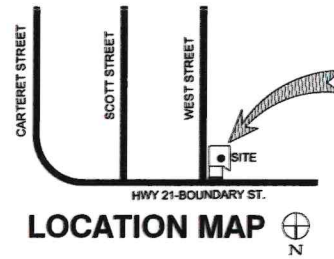
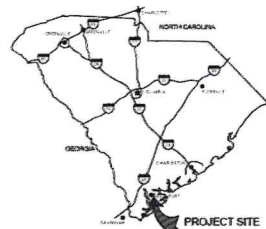
SEE MECHANICAL DWGS

FIRE PROTECTION

N/A

ELECTRICAL

SEE ELECTRICAL PLANS



SCOPE OF WORK:

- THIS PROJECT CONSISTS OF INTERIOR RENOVATION/ UPFIT WORK FOR AN EXISTING 860 SQUARE FOOT RETAIL BUILDING
- THE EXISTING BUILDING IS NOT FIRE SPRINKLERED
- WITH THE EXCEPTION OF TWO NEW EXIT DOORS, THE EXISTING BUILDING ENVELOPE REMAINS UNCHANGED
- WORK INCLUDES A NEW KITCHEN, WOOD STUD AND GYPSUM BOARD PARTITIONS, PRE-HUNG INTERIOR DOORS & FRAMES, & INTERIOR PAINTING
- ELECTRICAL WORK INCLUDES MINOR DEMO, SWITCHING, OUTLETS, & CONNECTION OF NEW KITCHEN EQUIPMENT
- RELOCATION OF AN EXISTING OUTDOOR CONDENSING UNIT & NEW WALK-IN-COOLER
- NEW HVAC UNIT & REVISED DUCT WORK

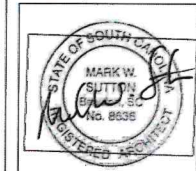
GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE CARRIED OUT ACCORDING TO GOOD CONSTRUCTION PRACTICES AND SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:
 - BUILDING: 2024 INTERNATIONAL BUILDING CODE
 - MECHANICAL: 2024 INTERNATIONAL MECHANICAL CODE
 - ELECTRICAL: 2018 NEC
 - PLUMBING: 2024 INTERNATIONAL PLUMBING CODE
 - FIRE CODE: 2024 INTERNATIONAL FIRE CODE
 - ENERGY CODE: 2024 INTERNATIONAL ENERGY CONSERVATION CODE
 - NFPA 101 LIFE SAFETY CODE
 - ICC A11.7-2009 AND THE AMERICANS WITH DISABILITIES ACT (ADA)
 - LOCAL PLANNING AND ZONING
- ALL WORK SHALL BE UNDERTAKEN AND MANAGED IN ACCORDANCE WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL LIFE SAFETY ELEMENTS INCLUDING BUT NOT LIMITED TO EXIT SIGNAGE, FIRE EXTINGUISHERS AND FIRE SPRINKLER SYSTEMS NECESSARY TO SATISFY LOCAL, STATE AND FEDERAL STANDARDS, CODES AND GUIDELINES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.
- GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY AND ALL DISCREPANCIES REGARDING EXISTING CONDITIONS OR WITHIN THE DRAWINGS AND SPECIFICATIONS. FAILURE TO DO SO WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY REGARDING ANY CONSEQUENCES THAT MIGHT ARISE AS A RESULT OF SUCH DISCREPANCIES.
- GENERAL CONTRACTOR SHALL SUBMIT, FOR OWNER AND ARCHITECT APPROVAL, SAMPLES AND PRODUCT DATA FOR ANY SUBSTITUTED PRODUCTS AND/OR SYSTEMS.
- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND TRADES AND THEIR POTENTIAL IMPACT ON THE PROJECT.
- EXISTING CONDITIONS DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED WITH LIKE MATERIALS AND WORKMANSHIP.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING, BETWEEN TRADES, ALL CUTTING AND PATCHING RESPONSIBILITIES.
- DUE TO MANUFACTURER VARIATIONS ON TYPE AND SIZES OF EQUIPMENT, CASEWORK, FIXTURES, ETC. ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS AND SUPPLIERS
- UNLESS NOTED OTHERWISE, INSTALL CONTINUOUS TREATED, NON-COMBUSTIBLE 2x6 WOOD BLOCKING FOR ALL CASEWORK, COUNTERS, GRAB BARS, WALL MOUNTED EQUIPMENT AND ACCESSORIES, FIXTURES, TELEVISIONS, ETC.
- CONSTRUCTION DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS; LARGE SCALE DETAILS TAKE PRECEDENCE OVER PLANS AND ELEVATIONS AND ENGINEERING DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL GRAPHIC REPRESENTATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS AND FINAL CLEANING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH ALL LOCAL ORDINANCES REGARDING NOISE, WORK HOURS, ETC.

BEAUFORT COUNTY, S.C.

MARK W. SUTTON, ARCHITECT

1703 EDINBURGH AVENUE
PORT ROYAL, SC 29935
(843) 310-9848
markwsutton@yahoo.com



CONSULTANTS

REVISIONS:

5/10/19 PERMIT ISSUE

DATE: 1/12/25
PROJECT NO: PINK PUB
OWN. BY: SUTTON
CHK'D BY: SUTTON

SHEET TITLE

COVER SHEET

T1

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THE PINK PUB

902 BOUNDARY ST, BEAUFORT, SOUTH CAROLINA

2024 INTERNATIONAL BUILDING CODE SUMMARY

A. PROJECT INFORMATION - (REQUIRED INFORMATION FOR ALL PROJECTS)

THIS SECTION IS REQUIRED TO BE COMPLETED FOR ALL PROJECTS

Name of Project: THE PINK PUB
Address: 902 BOUNDARY STREET Zip Code: 29902
Proposed Use: BAR
Owner or Authorized Agent: M.W. SUTTON Phone #: (843) 310-9848 E-Mail: markw.sutton@gho.com
Owned By: City/County Private JANELLE BACSH State
Code Enforcement Jurisdiction: City BEAUFORT County State

B. PROJECT SUMMARY/ ALTERNATIVE MEANS OF COMPLIANCE

REQUIRED INFORMATION FOR ALL PROJECTS

Building description: EXISTING COMMERCIAL RETAIL BUILDING IS ONE STORY WOOD & MASONRY FRAME STRUCTURE WITH LAPPED SIDING EXTERIOR FINISH.

Scope of work details: (If phased construction, please see plan submittal guidelines for submittal requirements.)
THE PRIMARY SCOPE OF WORK FOR THIS PROJECT IS MINOR INTERIOR NON-BEARING WALL FRAMING IN EXISTING TENANT SPACE. WORK WILL INCLUDE NEW ADA RESTROOM, BAR, KITCHEN EQUIPMENT, DOORS, AND WALL PAINT.
ELECTRICAL WORK INCLUDES CONNECTIONS TO NEW EQUIPMENT.
MECHANICAL WORK CONSISTS OF NEW RESTROOM, HOOD, & SINK CONNECTIONS

Does this project have air rights, easements, an assumed or deduced property line, no build easements or other circumstances similar to the aforementioned? Yes No If yes, please provide a copy of the official documents.
Renovation projects only: If you are using Chapter 34 (3412 Existing Buildings) in the IBC or NFPA 101 as an alternative for Code compliance please schedule a preliminary review before submitting your project for review.
Notes for Plans Examiner and Inspectors: Please reproduce the evaluation form on the plans.

C. DESIGN PROFESSIONAL INFORMATION

REQUIRED INFORMATION FOR ALL PROJECTS

LEAD DESIGN PROFESSIONAL: MARK W. SUTTON, AIA

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	EMAIL
Architectural	SLL PRACTITIONER	MARK W. SUTTON	8636	(843) 310-9848	markw.sutton@gho.com
Civil	N/A	N/A	N/A	N/A	N/A
Electrical	N/A	N/A	N/A	N/A	N/A
Fire Alarm	N/A	N/A	N/A	N/A	N/A
Plumbing	N/A	N/A	N/A	N/A	N/A
Mechanical	N/A	N/A	N/A	N/A	N/A
Sprinkler-Standpipe	N/A	N/A	N/A	N/A	N/A
Structural	N/A	N/A	N/A	N/A	N/A
Retaining Walls >4' High	-	-	-	-	-
Other	-	-	-	-	-

D. TYPE OF WORK BEING PERFORMED

REQUIRED INFORMATION FOR ALL PROJECTS

What type of work is being performed?

New Construction: (A project from the site work through the completion of work required for tenant occupancy) This includes Shell buildings.

Addition: (An Existing Building that is adding heated or unheated space. This could be an addition to the footprint or a vertical expansion)

Uplift: (First Time Interior Completion) (Uplift - the first time interior completion of a virgin (never occupied) shell space in a newly constructed building. The applicant must provide a copy of the approved shell)

Alteration Renovation: (Previously Occupied Space) This includes Change of Use.

E. CODE INFORMATION

If using the REHAB code please go to section I)

Building Code: 2015 International Building Code (IBC) 2015 Chapter 34 (attach building evaluation per section 3412)

New Building: New building Shell building First time interior completion (upfit) Addition

Existing Building: Change of use / occupancy Building / tenant space interior completion (Alteration/ Renovation)

Year of construction 1920 ? Previous use "B" BUSINESS

F. REHAB CODE (EXISTING BUILDING CODE)

2015 EXISTING BUILDING CODE Information: Scope of work / work areas must be listed and delineated on the plans.

Check all that apply: Repair Renovation Alteration Reconstruction Change of use Addition

Last known legal occupancy use: Historic Property: Yes No

Original Building Code Date: Date of Preliminary Meeting:

Justification for using the REHAB code:

Reviewers Notes for Field Inspector:

G. BASIC BUILDING DATA

REQUIRED INFORMATION FOR ALL PROJECTS

Construction Type: (Table 601) I-A II-A III-A IV V-A
(Check all that apply) I-B II-B III-B V-B

Sprinklers: (Section 903) No Partial Yes NFPA 13-07 NFPA 13R-07 NFPA 13D-07

Standpipes: (Section 905) No Yes Class I II III Wet Dry NFPA 14-07

Fire District: No Yes

Flood Hazard Area: (Appendix G) No Yes

Building Height: (Feet) 14'-0" (Table 503) Stories: 1

Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	ALT. Re	SUB-TOTAL
6th Floor	N/A	N/A	N/A	N/A
5th Floor	N/A	N/A	N/A	N/A
4th Floor	N/A	N/A	N/A	N/A
3rd Floor	N/A	N/A	N/A	N/A
2nd Floor	N/A	N/A	N/A	N/A
Mezzanine	N/A	N/A	N/A	N/A
1st Floor	860 SF	0	0	860
Basement	N/A	N/A	N/A	N/A
TOTAL	860 SF	0	0	860 SF

H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION

REQUIRED INFORMATION FOR ALL PROJECTS

Occupancy: (Chapter 3)

Assembly (303) A-1 A-2 A-3 A-4 A-5

Business (304) B

Educational (305) E

Factory (306) F-1 Moderate F-2 Low

Hazardous (307) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM

Institutional (308) I-1 I-2 I-3 I-4

I-3 Condition 1 2 3 4 5

Mercantile (309) M

Residential (310) R-1 R-2 R-3 R-4

Storage (311) S-1 Moderate S-2 Low High-piled Parking Garage Open Enclosed Repair Garage

Utility and Miscellaneous (312) U

Accessory Occupancies (<10%): (509) If Applicable

Assembly (303) A-1 A-2 A-3 A-4 A-5

Business (304) B

Educational (305) E

Factory (306) F-1 Moderate F-2 Low

Hazardous (307) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM

Institutional (308) I-1 I-2 I-3 I-4

I-3 Condition 1 2 3 4 5

Mercantile (309) M

Residential (310) R-1 R-2 R-3 R-4

Storage (311) S-1 Moderate S-2 Low High-piled Parking Garage Open Enclosed Repair Garage

Utility and Miscellaneous (312) U

Incidental Uses: If applicable - areas with additional requirements (Table 508.2.5):

Furnace room where any piece of equipment is over 400,000 Btu per hour input

Room with boilers where the largest piece of equipment is over 15 psi and 10 horsepower

Refrigerant machine room

Hydrogen cutoff rooms, not classified as Group H

Incinerator rooms

Paint shops, not classified as Group H, located in occupancies other than Group F

Laboratories and vocational shops, not classified as Group H. Located in Group E or I-2 Occupancy

Laundry rooms over 100 square feet

Group I-3 cells equipped with padded surfaces

Group I-2 waste and linen collection rooms

Waste and linen collection room over 100 square feet

Room containing fire pumps Room containing Life-Safety generator Room containing primary transformers

Group I-2 storage room over 100 square feet

Group I-2 commercial kitchens

Group I-2 laundries equal to or less than 100 square feet

Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: If Applicable

402 403 404 405 406 407 408 409 410 411 412 413 414 415 416

417 418 419 420 421 422 423 424 425 426 427

Special Provisions: If Applicable

509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy/Use: (506.5) If Applicable

No Yes Separation: N/A Hr. Exception: _____

Incidental Use Separation (508.2.5) This separation is not exempt as a Non-Separated Use (see exceptions).

Non-Separated Use (508.3) The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1. If Applicable to this project please provide a key plan with all occupancies identified with square footage.

Actual Area of Occupancy A + Actual Area of Occupancy B + ... ≤ 1.00
Allowable Area of Occupancy A + Allowable Area of Occupancy B + ... ≤ 1.00

N/A + N/A = N/A ≤ 1.00

STORY NO.	DESCRIPTION AND USE	(A) BUILDING AREA (ACTUAL)	(B) TABLE 503 AREA	(C) AREA FOR OPEN SPACE INCREASE 1	(D) AREA FOR SPRENNELER INCREASE 2	(E) ALLOWABLE AREA OR UNLIMITED 3	(F) MAXIMUM BUILDING AREA 4
1	ASSEMBLY -A2	860 SF	6,000 SF	N/A	N/A	6,000 SF	6,000 SF
TOTAL (UPFIT)		860 SF					

Footnote area increases from Section 506.2 are computed thus: N/A

a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)

b. Total Building Perimeter (P) = (P)

c. Ratio (F/P) = (F/P)

d. Minimum width of public way (W) = (W)

e. Percent of footage increase $I_p = 100 [F/P - 0.25] \times W/30 =$ (%)

The sprinkler increase per Section 506.3 is as follows: N/A

a. Multi-story building $I_s = 200$ percent

b. Single-story building $I_s = 300$ percent

Unlimited area applicable under conditions of Section 507. N/A

Maximum Building Area = total number of stories in the building $\times E$ (506.4.1). Maximum of 3.

The maximum area of open parking garage must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 412.1.2.

I. ALLOWABLE HEIGHT (CHAPTER 5)

REQUIRED FOR ADDITIONS, NEW CONSTRUCTION

TYPE OF CONSTRUCTION	ALLOWABLE HEIGHT (TABLE 504)	DECREASE FOR SPRENNELERS (TABLE 504.3)	SHOWN ON PLANS	CODE REFERENCE
Type: V-B	Type: V-B	Type: V-B	602.4	
Building Height in Feet	Feet: 40	Feet=H'-20' = N/A	Feet: 14'-0"	503
Building Height in Stories	Stories: 1	Stories=1 = N/A	Stories: 1	503

J. FIRE PROTECTION REQUIREMENTS (CHAPTER 7)

REQUIRED INFORMATION FOR ALL PROJECTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING**		DETAIL* AND SHEET #	DESIGN* FOR RATED ASSEMBLY	DESIGN* FOR RATED PENETRATION	DESIGN* FOR RATED JOINTS
		REQD	PROVIDED (BY REDUCTION)				
Structural Frame including columns, girders, trusses	>60'-0"	0	0	-	-	-	-
Bearing Walls (See section k: (601-602) if rated)							
Exterior							
North	N/A	0	0	-	-	-	-
East	N/A	0	0	-	-	-	-
West	N/A	0	0	-	-	-	-
South	N/A	0	0	-	-	-	-
Interior	N/A	0	0	-	-	-	-
Nonbearing Walls and Partitions (See section k: (601-602) if rated)							
Exterior							
North	>60'-0"	0	0	-	-	-	-
East	>60'-0"	0	0	-	-	-	-
West	>60'-0"	0	0	-	-	-	-
South	>60'-0"	0	0	-	-	-	-
Interior walls and partitions	N/A	0	0	-	-	-	-
Floor Construction including supporting beams and joists	>60'-0"	0	0	-	-	-	-
Roof Construction including supporting beams and joists	>60'-0"	0	0	-	-	-	-
Shaft Enclosures - Exit	N/A	N/A	N/A	-	-	-	-
Shaft Enclosures - Other	N/A	N/A	N/A	-	-	-	-
Corridor Separation	N/A	N/A	N/A	-	-	-	-
Occupancy Separation	N/A	N/A	N/A	-	-	-	-
Party Fire Wall Separation	N/A	N/A	N/A	-	-	-	-
Smoke Barrier Separation	N/A	N/A	N/A	-	-	-	-
Tenant Separation	N/A	EXISTING	N/A	-	-	-	-
Incidental Separation	N/A	N/A	N/A	-	-	-	-

K. PERCENTAGE OF WALL OPENING CALCULATIONS

NEW CONSTRUCTION, ADDITION AND CHANGE OF USE

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENING PROTECTION (TABLE 703.5)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
THIS PROJECT DOES NOT ALTER OR MODIFY THE EXISTING BUILDING ENVELOPE.			
-	-	-	-
-	-	-	-
-	-	-	-

L. WALL LEGENDS

REQUIRED FOR ALL PROJECTS

CHECK THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS

Fire Walls 706 Fire Barriers 707 Shaft Enclosure 708 Fire Partitions 709 Smoke Barriers 710

Smoke Partitions 711 No rated walls are present

M. LIFE SAFETY SYSTEMS (EXISTING OR NEW SYSTEMS)

REQUIRED FOR ALL PROJECTS

Emergency Lighting: (1006) No Yes

Exit Signs: (1011) No Yes

Fire Alarm: (907, NFPA 72-07) No Yes

Smoke Detection Systems: 5907 No Yes Partial

Panic Hardware: S1008.1.10 No Yes

Life Safety systems generator: S2702.2 No Yes

N. LIFE SAFETY PLAN CHECK LIST FOR COMPLIANCE

REQUIRED FOR ALL PROJECTS - CHECK ITEMS THAT ARE APPLICABLE TO YOUR PROJECT

Fire and/or smoke rated wall locations (Chapter 7)

Assumed and real property line locations

Exterior wall opening area with respect to distance to assumed property lines (705.8)

Existing structures within 50' of the proposed building

Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)

Occupant load for each area

Exit access travel distances (1016)

Common path of travel distances (1014.3&1028.8)

Dead end lengths (1018.4)

Clear exit widths for each exit door

Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1095.1)

Actual occupant load for each exit door

A separate schematic plan indicating where fire rated floor ceiling and/or roof structure is provided for purpose of occupancy separation

Location of doors with panic hardware (1006.1.10)

Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)

Location of doors with electromagnetic egress locks (1008.1.9.8)

Location of doors equipped with hold-open devices

Location of emergency escape windows (1029)

The square footage of each fire area (902)

The square footage of each smoke compartment (407.4)

Note any code exceptions or table notes that may have been utilized regarding the items above

O. EXIT REQUIREMENTS

REQUIRED FOR ALL PROJECTS

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM ¹ NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT OF MEANS OF EGRESS ² (SECTION 1007)	
	REQD	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1014.3)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQD DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
TENANT A	1	3	200'	30' MAX	20'	25'-4"

¹ Corridor dead ends (Section 1020.4)

² Buildings with Single Exits (Table 1006.3), Spaces with one means of egress (Table 1006.2)

³ Common Path of Travel (Section 1006.2.1)

OCCUPANT LOAD AND EXIT WIDTH (TABLE 1004.1.2)

USE GROUP OR SPACE DESCRIPTION	AC AREA (SQ FT)	MIN AREA PER OCCUPANT	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD (PERSONS)	EMERGENCY EXIT WIDTH (CALCULATED PER IBC 1014.3)		REQUIRED WIDTH (CALCULATED PER IBC 1014.3)		ACTUAL WIDTH SHOWN ON PLANS	
					STAR	LEVEL	STAR	LEVEL	STAR	LEVEL
TENANT A										
ASSEMBLY	424 SF	15 SF GROSS	29 PERSON	0.3	0.2	N/A	5.8'	N/A	32'	MIN
BUSINESS	459 SF	100 SF GROSS	5 PERSON	0.3	0.2	N/A	2.6'	N/A	64'	MIN
TOTAL	883 SF		34 PEOPLE						96"	

¹ See Table 1004.1.2 to determine whether net or gross area is applicable.

² See definition "Area, Gross" and "Area, Net" (Section 1002)

³ Minimum stairway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1)

⁴ Minimum width of exit passageway (Section 1023.2)

⁵ See Section 1004.5 for converging exits.

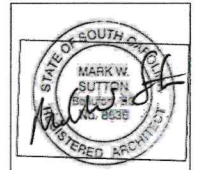
⁶ The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)

⁷ Assembly occupancies (Section 1028)

⁸ Spaces within occupancies or use groups shall be calculated independently. (Ex. Lobbies, lounges, break rooms, conference rooms.)

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CONSULTANTS

REVISIONS:

5/10/19 PERMIT ISSUE

DATE: 1/12/25
PROJECT NO.: PINK PUB
DWN. BY: SUTTON
CHKD BY: SUTTON

SHEET TITLE

CODE SUMMARY

T2

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2024 INTERNATIONAL BUILDING CODE SUMMARY -CONTINUED

P. ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS ONLY FOR R-1, R-2 OCCUPANCY

ACCESSIBLE DWELLING UNITS (1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Q. ACCESSIBLE PARKING

PROJECTS THAT ARE NEW CONSTRUCTION, ADDITION, CHANGE OF USE

ACCESSIBLE PARKING (1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR SIZE 5' ACCESSIBLE	7.5' ACCESSIBLE	8' ACCESSIBLE	
NO CHANGE TO EXISTING PARKING						
TOTAL	-	-	-	-	-	-

R. STRUCTURAL DESIGN

PRIMARY FOR NEW CONSTRUCTION, ADDITIONS AND CHANGE OF USE

If adding dead loads or live loads to the building structural system information in any project will be required. The information may be located on the structural sheets. The structural sheet must be in the same format as noted in this section. If it is on the structural sheets, please indicate here.

Located on Structural Sheet Number N/A: Yes N/A No N/A

DESIGN LOADS:

Importance Factor: (ASCE SEI 7-05-11.5)	Wind	<u>N/A</u>	THIS PROJECT DOES NOT ALTER THE EXISTING BUILDING STRUCTURE
	Snow	<u>N/A</u>	
	Seismic	<u>N/A</u>	
Live Load:	RoeE (1603.1.2, 1607.11, 1611)	<u>N/A</u> psf	
	Floor (1603.1.1, 1607.10, T1607.10)	<u>N/A</u> psf	
	Live load reductions: (1603.1.1, 1607.9)	<u>N/A</u> psf	
Ground Snow Load: (1608.2)		<u>N/A</u>	
Wind Load:	Basic Wind Speed: (1609.3)	<u>N/A</u> mph (ASCE-7)	
	Exposure Category (1609.4)	<u>N/A</u>	
	Wind Bove Shears (for MWFRS) (Engineer Cal)	V _x = <u>N/A</u> V _y = <u>N/A</u>	

SEISMIC DESIGN CATEGORY: (1613.1, 1613.5.6)

Provide the following Seismic Design Parameters:	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D		
Occupancy Category: (Table 1604.5)	<input type="checkbox"/> I	<input type="checkbox"/> II	<input type="checkbox"/> III	<input type="checkbox"/> IV		
Spectral Response Acceleration: (Engineer cal's)	S _v <u>N/A</u> %g	S ₁ <u>N/A</u> %g				
Site Classification (Table 1613.5.2)	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Data Source:	<input type="checkbox"/> Field Test	<input type="checkbox"/> Presumptive	<input type="checkbox"/> Historical Data			
Basic Structural System (Check one)	<input type="checkbox"/> Bearing Wall	<input type="checkbox"/> Dual w/ Special Moment Frame				
Ground Snow Load:	<input type="checkbox"/> Building Frame	<input type="checkbox"/> Dual w/ Intermediate R.C. or Special Steel				
Wind Load:	<input type="checkbox"/> Moment Frame	<input type="checkbox"/> Inverted Pendulum				
Seismic base shear: (Engineer Cal's)	V _x = <u>N/A</u>	V _y = <u>N/A</u>				
Analysis Procedure:	<input type="checkbox"/> Simplified	<input type="checkbox"/> Equivalent Lateral Force	<input type="checkbox"/> Dynamic			
Architectural, Mechanical, Components anchored?	<input type="checkbox"/> Yes	<input type="checkbox"/> No				

LATERAL DESIGN CONTROL:

Earthquake Wind

SOIL BEARING CAPACITIES:

Field Test (provided copy of test report as a reference document)	<input type="checkbox"/> Earthquake <input type="checkbox"/> Wind
Presumptive Bearing Capacity	<u>N/A</u> psf
Pile sizes, type, and capacity	<u>N/A</u> psf
SPECIAL INSPECTIONS REQUIRED:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

S. SPECIAL INSPECTIONS:

IF APPLICABLE TO YOUR PROJECT

http://charmeck.org/mec/lenburg county LUESA Code Enforcement Tools Forms Documents SI Scope.pdf

SCHEDULE OF SPECIAL INSPECTIONS No special inspections required for this project
 Special inspections required

The following sheets comprise the required schedule of Special Inspections for this project. The construction divisions which require special inspections for this project are as follows:

<input type="checkbox"/> IT-1 Verifications of Soils	<input type="checkbox"/> IT-10 Inspection of Structural Steel Fabricators
<input type="checkbox"/> IT-2 Excavation and Fill	<input type="checkbox"/> IT-11 Structural Masonry
<input type="checkbox"/> IT-3 Piling and Drilling Piers	<input type="checkbox"/> IT-12 Masonry
<input type="checkbox"/> IT-4 Modular Retaining Walls	<input type="checkbox"/> IT-13 High Strength Bolts & Steel Framing Insp.
<input type="checkbox"/> IT-5 Reinforced Concrete	<input type="checkbox"/> IT-14 Sprayed Fire Resistance Materials
<input type="checkbox"/> IT-6 Post Tension Slab	<input type="checkbox"/> IT-15 Exterior Insulation and Finish System
<input type="checkbox"/> IT-7 Pre-cast Concrete Erection	<input type="checkbox"/> IT-16 Seismic Resistance
<input type="checkbox"/> IT-8 Pre-stressed Concrete	<input type="checkbox"/> IT-17 Smoke Control
<input type="checkbox"/> IT-9 Inspection of Pre-cast Fabricators	<input type="checkbox"/> IT-18 Detention Basin
	<input type="checkbox"/> IT-19 Special Cases

Check the above boxes for the special inspection required for this project and list specific special inspections required under Chapter 17.

T. PLUMBING FIXTURES REIUREMENTS

NEW CONSTRUCTION, ADDITIONS, UPPTS, ALTERATIONS AND CHANGE OF USE OR, IF INCREASING OCCUPANT LOAD

TABLE 2902.1

OCCUPANCY USE GROUP AND/OR SPACE DESIGNATION	WATER CLOSETS		URINALS	LAVATORIES		SINKS/ TUBS	DRINKING FOUNTAINS	MOP SINK
	MALE	FEMALE		MALE	FEMALE			
UNIT A BUSINESS	1/25	1/25	-	1/40	1/40	N/A	1/100	1
TOTAL REQUIRED	1	1	-	1	1	-	N/A	1
TOTAL PROVIDED	1	1	-	1	1	-	N/A	1
	1/25	1/25	-	1/40	1/40	N/A	1/100	-
	1/25	1/25	-	1/40	1/40	N/A	1/100	-
TOTAL REQUIRED	-	-	-	-	-	-	-	-
TOTAL PROVIDED	-	-	-	-	-	-	-	-

U. SPECIAL APPROVALS

IF APPLICABLE TO YOUR PROJECT

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

NONE REQUIRED

-

-

V. ENERGY SUMMARY

NEW CONSTRUCTION, ADDITIONS, CHANGE OF USE AND UPPTS

BUILDING ENVELOPE:

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the International Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.

Climate Zone: (International Energy Conservation Code) 3 4 5

Method of Compliance:

Prescriptive (IECC) Performance (Com Check) Report must be reproduced on drawings
 Prescriptive (ASHRAE 90.1-2010 with addenda 2013 supplement) Performance (ASHRAE 90.1-2010)

THERMAL ENVELOPE: (IECC Chapter 4 and or 5)

Roof Ceiling Assembly (each assembly)

Description of assembly:	<u>N/A</u>
U-Value of total assembly:	<u>N/A</u>
R-Value of insulation:	<u>N/A</u>
Skylights in each assembly	<u>N/A</u>
U-Value of skylight:	<u>N/A</u>
Total square footage of skylight in each assembly	<u>N/A</u>

Exterior Walls (each assembly)

Description of assembly:	<u>N/A</u>
U-Value of total assembly:	<u>N/A</u>
R-Value of insulation:	<u>N/A</u>
Openings (windows or doors with glazing)	<u>N/A</u> % of above grade walls
U-Value of assembly:	<u>N/A</u>
Solar heat gain coefficient:	<u>N/A</u>
Projection Factor:	<u>N/A</u>
Door R-values:	<u>N/A</u>

Walls below grade (each assembly)

Description of assembly:	<u>N/A</u>
U-Value of total assembly:	<u>N/A</u>
R-Value of insulation:	<u>N/A</u>

Floors over unconditioned space (each assembly)

Description of assembly:	<u>N/A</u>
U-Value of total assembly:	<u>N/A</u>
R-Value of insulation:	<u>N/A</u>

Floors slab on grade

Description of assembly:	<u>N/A</u>
U-Value of total assembly:	<u>N/A</u>
R-Value of insulation:	<u>N/A</u>
Horizontal vertical requirement:	<u>N/A</u>
Slab heated:	<u>N/A</u>

MECHANICAL SUMMARY (IECC 503) This information may be located on the mechanical sheet. The mechanical sheet must be in the same format as noted in this section. If it is on the mechanical sheets, please indicate here.

(Located on Mechanical Sheet number N/A): Yes No

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone -

Winter dry bulb: -

Summer dry bulb: -

Interior design conditions

Winter dry bulb: -

Summer dry bulb: -

Relative humidity: -

Building heating load: -

Building cooling load: -

Mechanical Spacing Conditioning System

Unitary

Description of unit: -

Heating efficiency: -

Cooling efficiency: -

Size category of unit: -

Boiler

Size category: If oversized, state reason: -

Chiller

Size category: If oversized, state reason: -

List equipment efficiencies: -

ELECTRICAL SUMMARY (IECC 505) This information may be located on the electrical sheets. The Electrical sheet must be in the same format as noted in this section. If it is on the electrical sheets, please indicate here.
(Located on Electrical Sheet number N/A): Yes No

ELECTRICAL SYSTEM AND EQUIPMENT

METHOD OF COMPLIANCE

Energy Code: Prescriptive Performance

ASHRAE 90.1: Prescriptive Performance

Lighting Schedule (each fixture type)

Lamp type required in fixture -

Number of lamps in fixture -

Ballast type used in the fixture -

Number of ballasts in fixture -

Total wattage per fixture -

Total interior wattage specified vs. allowed (whole building or space by space) -

Total exterior wattage specified vs. allowed -

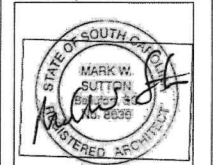
Additional Prescriptive Compliance

- 506.2.1 More Efficient Mechanical Equipment
- 506.2.2 Reduced Lighting Power Density
- 506.2.3 Energy Recovery Ventilation Systems
- 506.2.4 Higher Efficiency Service Water Heating
- 506.2.5 On-Site Supply Renewable Energy
- 506.2.6 Automatic Daylighting Control Systems

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REVISIONS:

5/10/19 PERMIT ISSUE

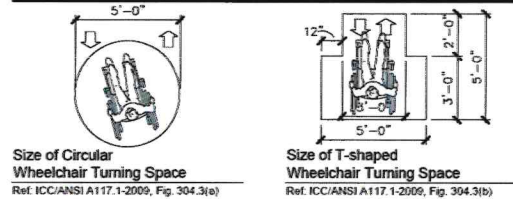
DATE: 1/12/25
PROJECT NO: PINK PUB
DWN. BY: SUTTON
CHK'D BY: SUTTON

SHEET TITLE

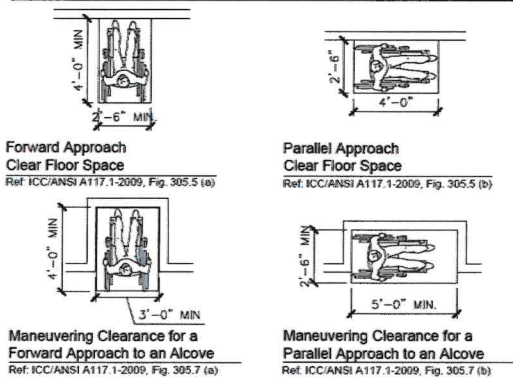
CODE SUMMARY CONT.

T3

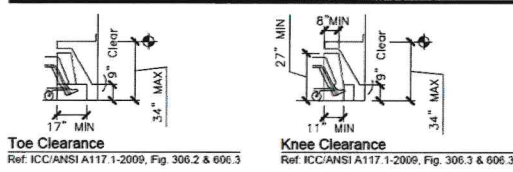
304 WHEELCHAIR TURNING SPACE



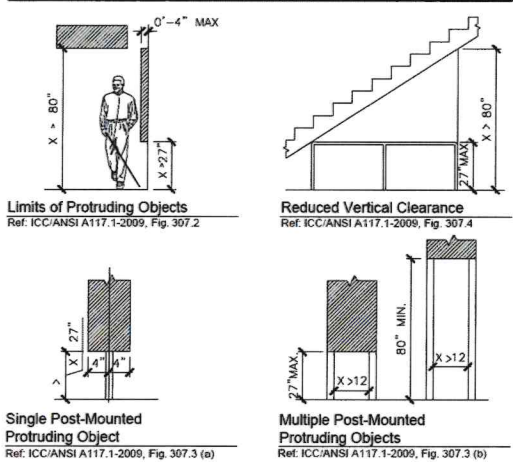
305 CLEAR FLOOR SPACE



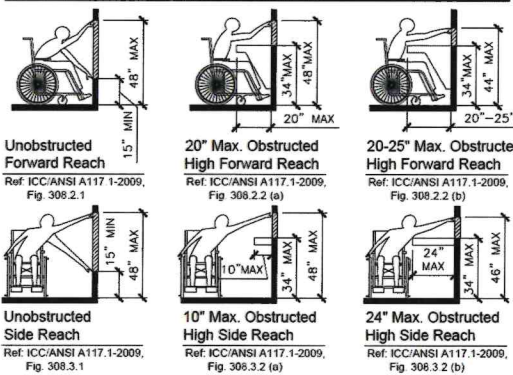
306 KNEE & TOE CLEARANCE; 606 LAVATORIES & SINKS; 902 SEATING AT TABLES, COUNTERS, & WORK SURFACES



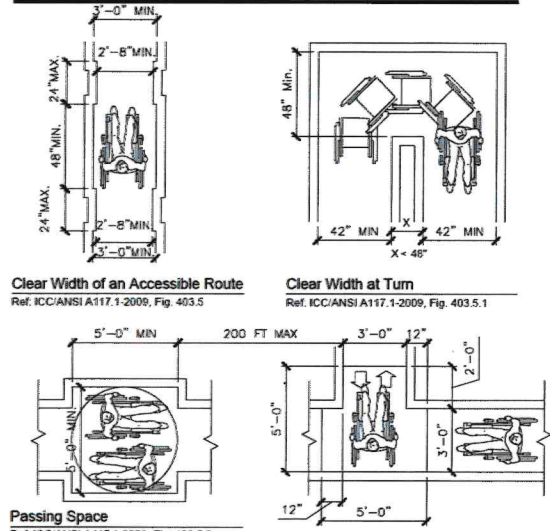
307 PROTRUDING OBJECTS



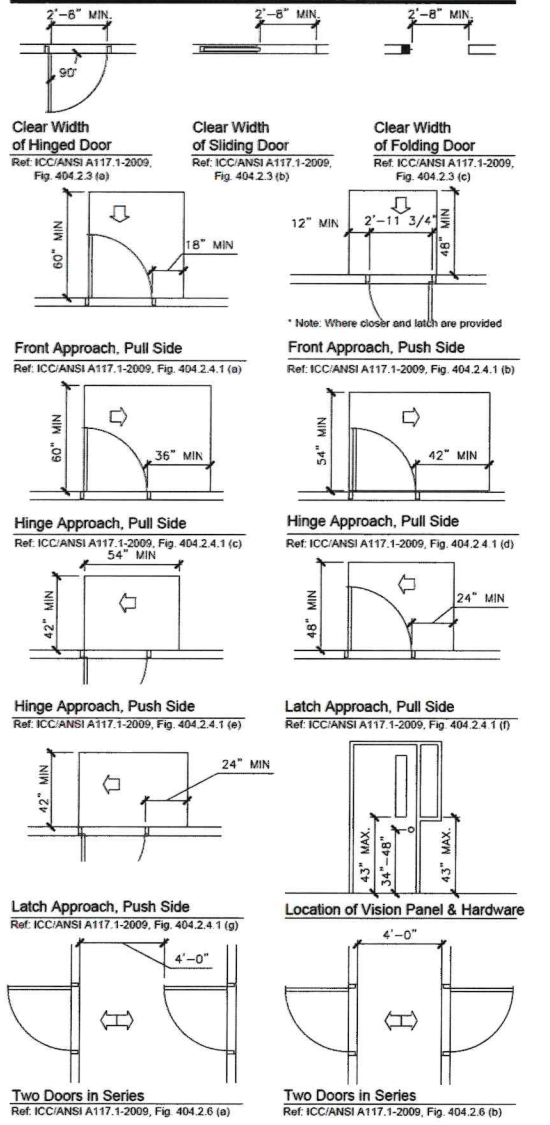
308 REACHING RANGES



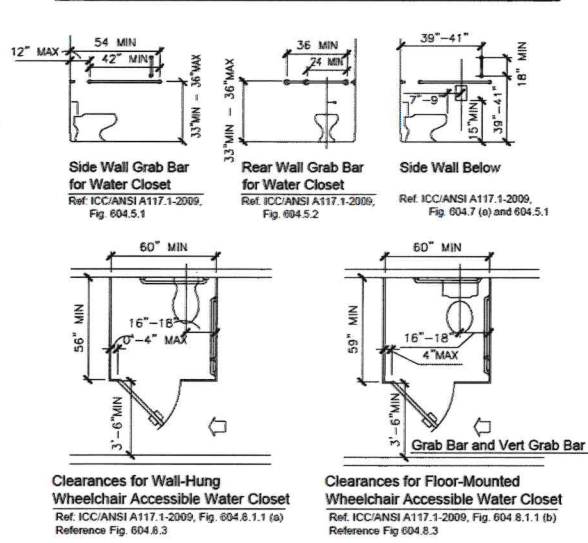
403 ACCESSIBLE ROUTES



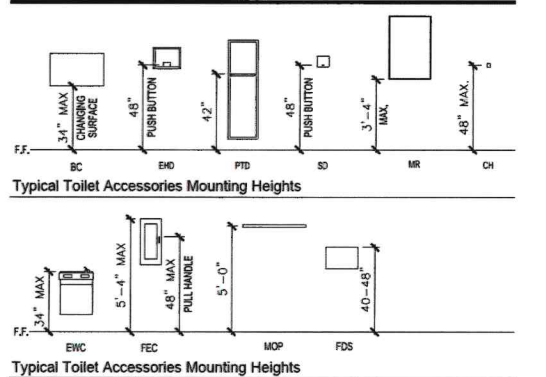
404 DOORS AND DOORWAYS



604 WATER CLOSETS, TOILET COMPARTMENTS, & 605 URINALS (CONTINUED)



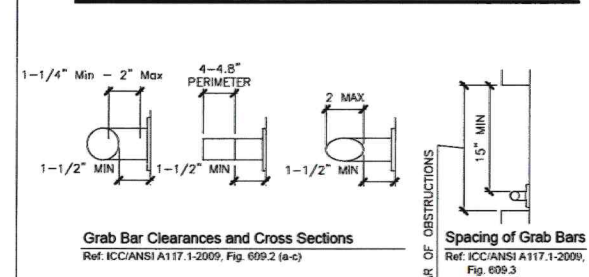
ACCESSORIES



606 LAVATORIES & SINKS



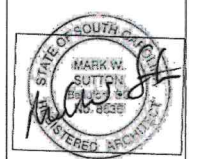
609 GRAB BARS



THE PINK PUB
902 BOUNDARY ST.
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CONSULTANTS

REVISIONS:

5/10/19 PERMIT ISSUE

DATE: 1/12/25
PROJECT NO: PINK PUB
DWL BY: SUTTON
CHK'D BY: SUTTON
SHEET TITLE

ADA STANDARDS

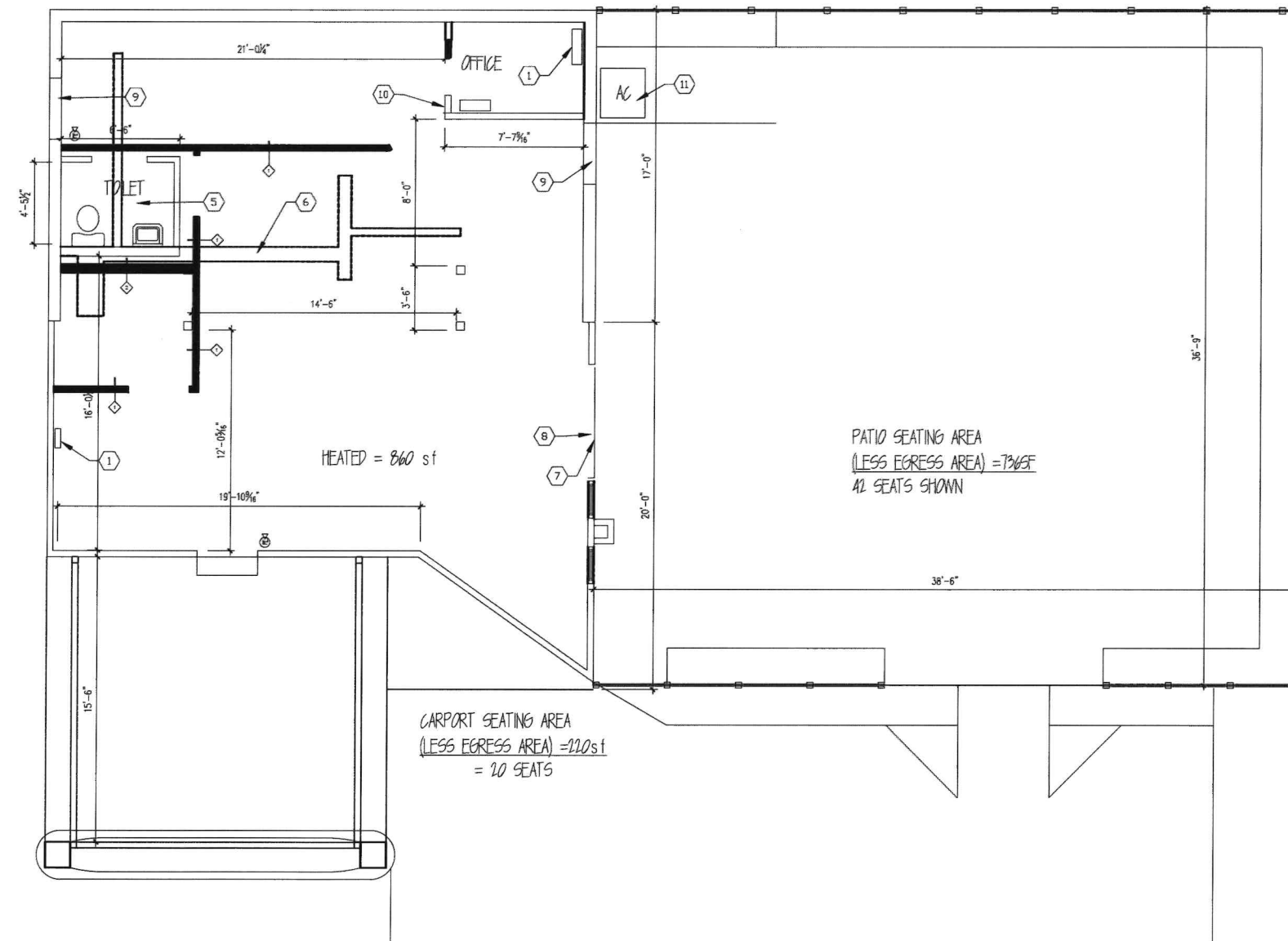
T4

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NOT ALL DETAILS ON THIS SHEET APPLY TO THIS PROJECT. THESE DETAILS PROVIDE STANDARD MOUNTING HEIGHTS CLEARANCES, RELATIONSHIPS AND TOLERANCES FOR BUILDING AND SITE ELEMENTS, SYSTEMS AND COMPONENTS. THESE DETAILS ARE PROVIDED TO HELP ENSURE COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND THE INTERNATIONAL CODE COUNCIL (ICC) A117.1-2009. THESE DETAILS ARE INTENDED TO SUPPORT OTHER DETAILS, DIMENSIONS AND NOTES PROVIDED IN THE DRAWING SET. IN THE CASE OF CONFLICTING INFORMATION, THE MOST STRINGENT REQUIREMENT SHALL TAKE PRECEDENCE

SHEET KEY NOTES -DEMOLITION: (X)

1. EXISTING ELECTRICAL PANEL
2. RE-ROUTE EXISTING ELECTRIC AND COMMUNICATIONS WIRING, CONDUITS, & REPAIR WALLS WHERE DAMAGED (VARIOUS LOCATIONS)
3. EXISTING POWER & DATA TO REMAIN IN SERVICE
4. EXISTING EMERGENCY LIGHTS AND EXIT LIGHTS SHALL REMAIN IN SERVICE
5. DEMO EXIST. TOILET COMPLETE. OPEN CONC. & EXPOSE EXISTING DRAIN PIPING FOR REUSE
6. CUT CONC. FLOOR FOR NEW PLUMBING PIPING. CONSULT EQUIPMENT REQUIREMENTS & ARCH. SHEET FOR DRAIN LOCATIONS.
7. REMOVE DBL. DOOR & PREPARE OPENING FOR NEW SINGLE DOOR
8. REMOVE CONCRETE "HUMP" UNDER DOOR. PREPARE FOR NEW WATER TIGHT SILL
9. CUT NEW DOOR OPENING THROUGH EXIST. CMU. INSTALL NEW WD SUB-FRAME - SEE DOOR DETAILS
10. REMOVE PORTION OF EXISTING WALL
11. RELOCATE EXISTING AC CONDENSER



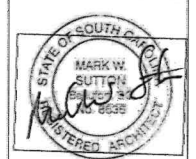
1
A102
A102
EXISTING CONDITIONS
1/4" = 1'-0"



THE PINK PUB
902 BAY STREET
BEAUFORT, SOUTH CAROLINA

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REVISIONS:

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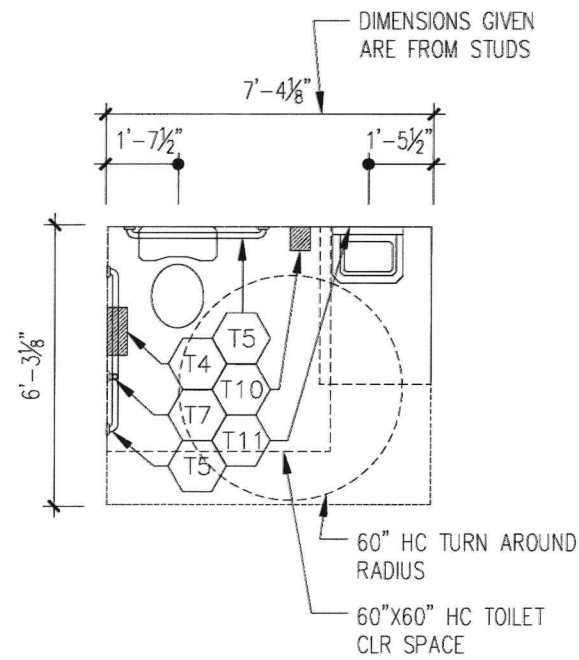
DATE: 1/12/25
PROJECT NO.: 902 BAY
DWN. BY: SUTTON
CHK'D BY: SUTTON

SHEET TITLE

EXISTING CONDITIONS
& DEMOLITION PLAN

EC 100

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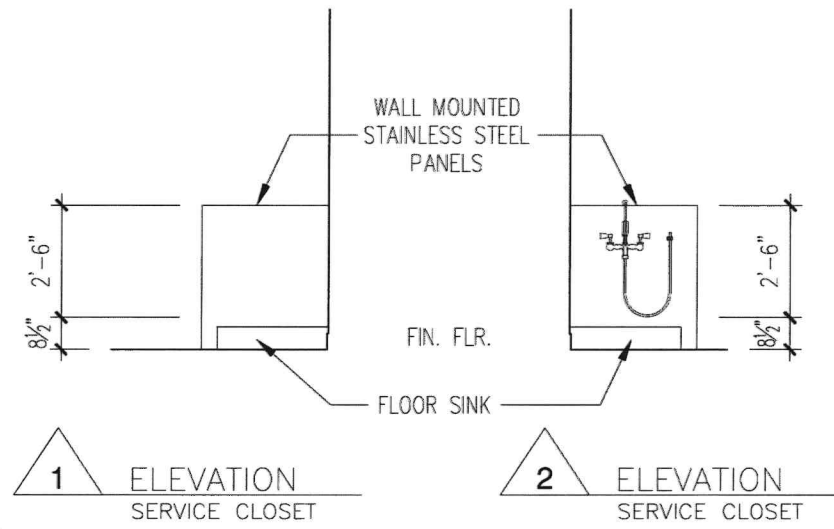
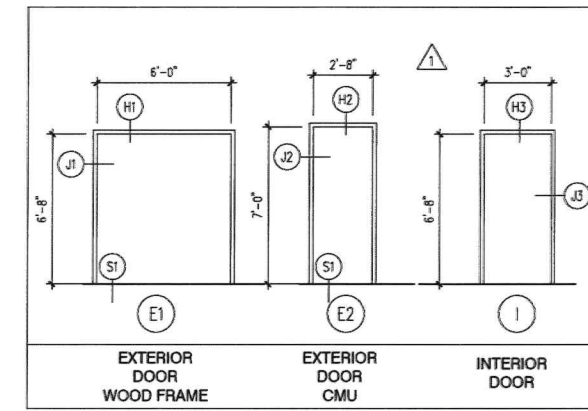
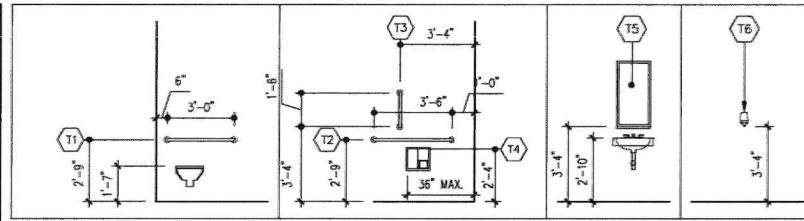


3
A100
A001
TYPICAL RESTROOM LAYOUT
1/2" = 1'-0"

ACCESSORY LEGEND

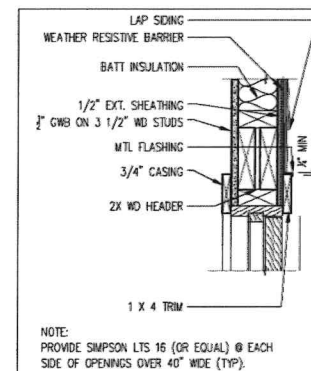
- T1 36" H/C GRAB BAR (HORIZONTAL)
- T2 42" H/C GRAB BAR (HORIZONTAL)
- T3 18" H/C GRAB BAR (VERTICAL)
- T4 SURFACE MOUNTED MULTI ROLL TOILET TISSUE DISPENSER
- T5 18X24 MIRROR
- T6 WALL MTD LIQUID SOAP DISPENSER

NOTE 1: ALL TOILET ROOM ACCESSORIES SHALL BE MOUNTED TYPICALLY AT HEIGHTS SHOWN. OPERATING PARTS OF DISPENSERS AND DISPOSAL FIXTURES SHALL BE WITHIN 40" OF FLOOR AT BARRIER FREE TOILETS.

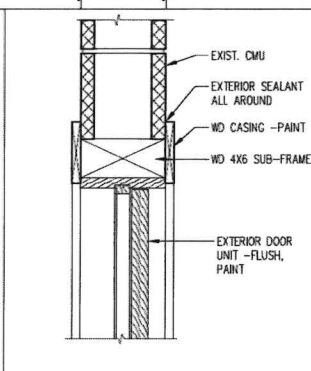


1
ELEVATION
SERVICE CLOSET

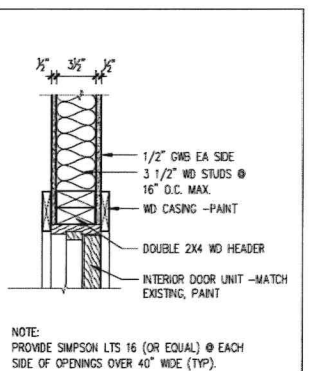
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ELEVATION
SERVICE CLOSET



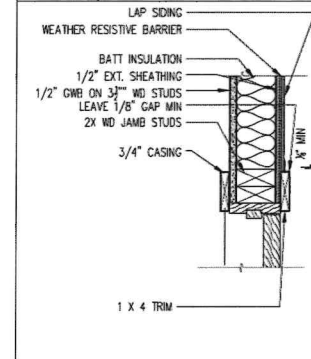
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SCALE: 1 1/2" = 1'-0"



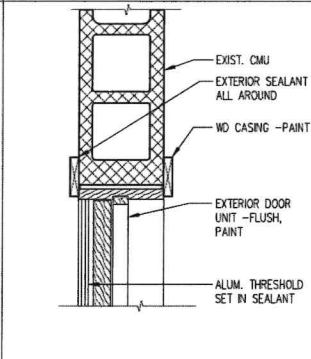
H2 HEAD
SCALE: 1 1/2" = 1'-0"



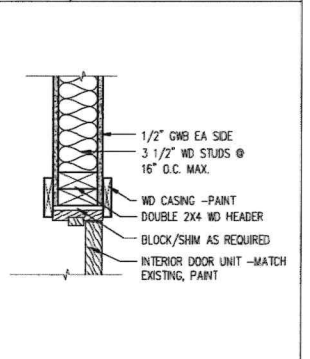
H3 HEAD
SCALE: 1 1/2" = 1'-0"



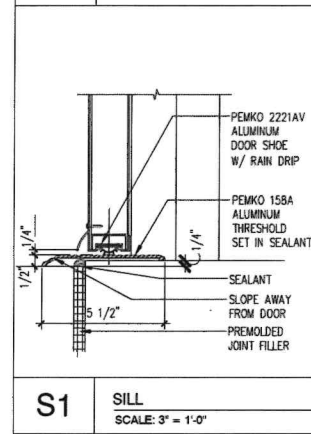
J1 JAMB
SCALE: 1 1/2" = 1'-0"



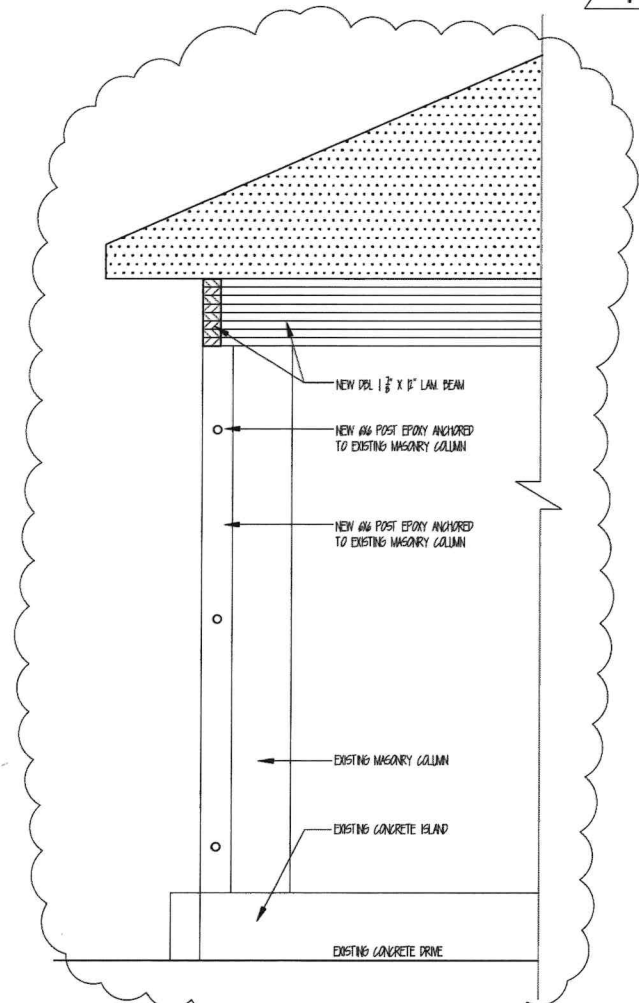
J2 JAMB
SCALE: 1 1/2" = 1'-0"



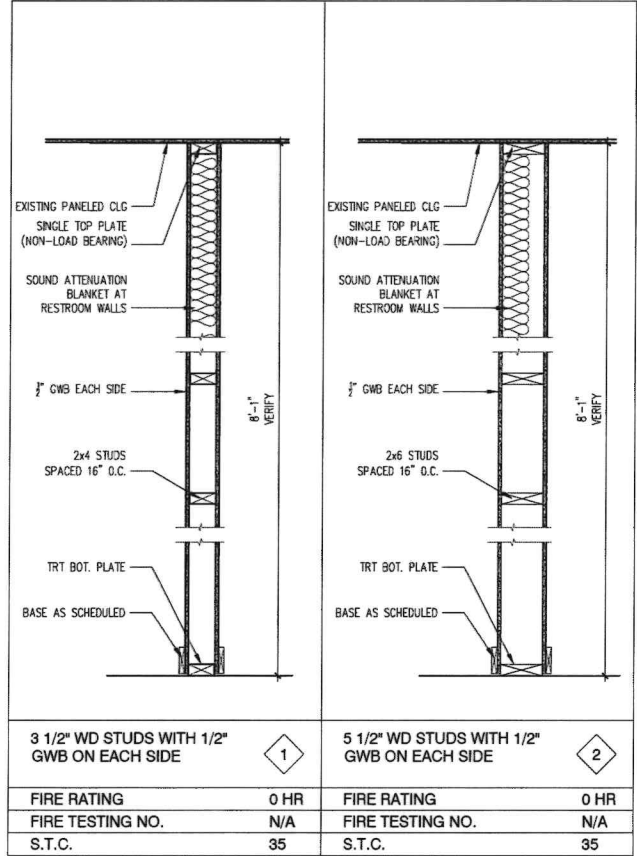
J3 JAMB
SCALE: 1 1/2" = 1'-0"



S1 SILL
SCALE: 3" = 1'-0"

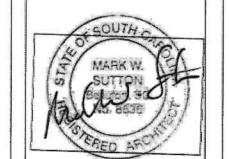


4
A100
A001
POST & BEAM SUPPORT DETAILS
3/4" = 1'-0"



2
A100
A001
WALL TYPES & DETAILS
1" = 1'-0"

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REVISIONS:

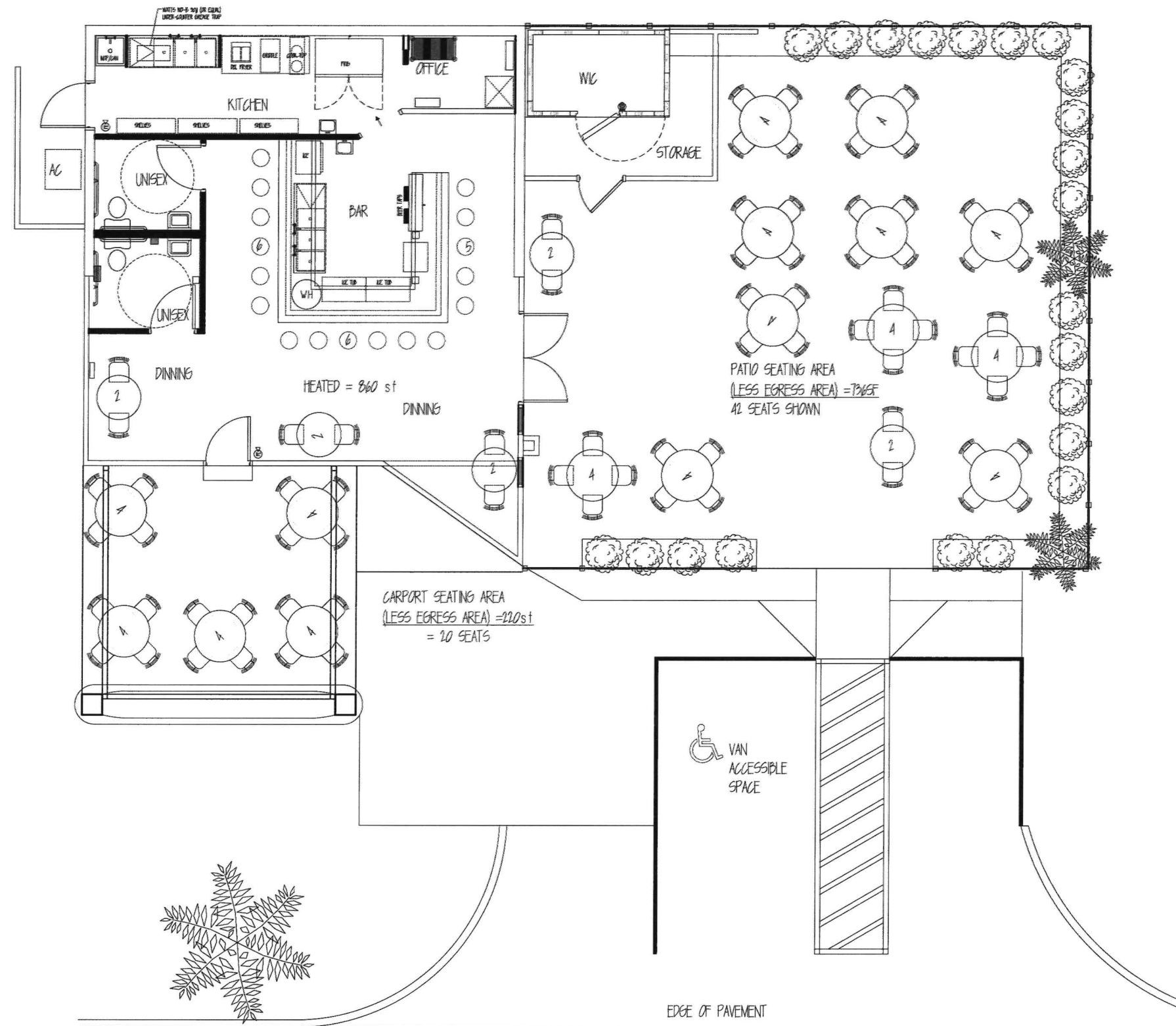
5/10/19 PERMIT ISSUE	
3/10/20 DOOR REVISION AS NOTED	1
2/4/25 ADD EMERGENCY CANOPY SUPPORT	2

DATE: 1/12/25
PROJECT NO: 902 BAY
DWG. BY: SUTTON
CHK'D BY: SUTTON

DOOR TYPES & DETAILS
WALL TYPES & DETAILS
RESTROOM LAYOUT
& DETAILS

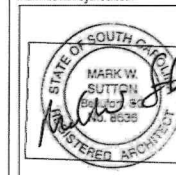
A001

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THE PINK PUB
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REVISIONS:
 5/10/19 PERMIT ISSUE

DATE: 1/12/25
 PROJECT NO: PINK PUB
 DWN BY: SUTTON
 CHK'D BY: SUTTON

SHEET TITLE

SUGGESTED SEATING
 LAYOUT &
 HANDICAPPED PARKING

A101

1
A100
A101 SEATING LAYOUT
 1/4" = 1'-0"



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1411 North Street

(Contributing, c. 1907)

**Placement of new accessory structures,
including 2-car garage, Pool
House/Guesthouse, an inground pool
together with hardscaping &
landscaping upfits**



STAFF REPORT: Historic District Review Board (HDRB)

1411 NORTH STREET

DATE: March 11, 2026

GENERAL INFORMATION	
Applicant:	Steve Goggans (Architect)
Site Address / Tax PIN:	1411 North Street / PIN: R120 004 000 0663 0000
Applicant's Request:	Addition of two (2) accessory buildings, including a 2-car garage and a guest/pool house. An inground pool is also proposed to be added to the rear of the property.
Current Zoning:	T4-HISTORIC NEIGHBORHOOD DISTRICT (T4-HN)
Contributing/Neighborhood	Contributing (c. 1907) - The Bluff; "Emil E. Lengnick House"
Flood Zone/Base Flood	Flood Zone: X, Elevation: 24 ft - 25 ft
Existing Trees	42-inch caliber (DBH) Live Oak in back yard - to remain

ZONING DISTRICT INFORMATION	
T4-HISTORIC NEIGHBORHOOD DISTRICT (T4-HN)	
Lot Width at Setback:	40 ft min
Minimum Lot Size:	4,000 sq. ft min
Max Lot Coverage:	55% of lot area (This percentage indicates maximum lot coverage by roofs; total impervious coverage may be an additional 10%. Parcels may also be subject to Section 8.3 - Stormwater)
Frontage Build Out	75% max
Front Setback	Average Prevailing Setback on Block
Side Setback	Corner/Alley: 5 ft min Interior: 6 ft min
Rear Setback	15 ft min; from alley: 0 ft.
Building Height:	Primary Structures: 3 stories max Accessory Structures: 2 stories or 30 ft max

SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
Adjacent Zoning	Adjacent Land Uses	Setbacks for Adjacent Zoning /Buffer required if rezoned
North: T4-N	507 Monson St. (c. 1940; Contributing) - residential	N/A
South: T4-HN	1411 Bay St. (c. 1895; Contributing) - residential	N/A
East: T4-HN	1407 North St. (c. 1890; Contributing) - residential	N/A
West: T4-N	1501 North St. (c. 1879; altered) - residential	N/A

Background: The applicant (owner architect) is requesting conceptual approval for adding a 2-car garage, a pool house/guesthouse and an inground pool to the side/rear of the property. The guesthouse will be 1-bedroom, 2-baths with a kitchen. These structures are part of a second phase for the overall property, with the first phase including site work such as new brick front piers, brick pathways, fencing and landscaping. A new brick walkway

behind the main house and one leading to the front door from the street corner was approved at staff level. **The applicant has been to three (3) HTRC Meetings before.**

Project timeline

Jan. 2025	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
				5/14: 1st HTRC Meeting				9/3: 2nd HTRC Meeting			

Jan. 2026	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
	2/25: 3rd HTRC Meeting	3/11: 1st HRB Meeting									

Summary of the 09/03/2025 & 2/25/2026 - HTRC Meeting Comments:

1. Planning and Zoning:

- Zoned T4-HN
- Residential Structure, ca. 1907. Contributing Structure (Emil E. Lengnick House)
- COA is valid for 2 years after the date of formal approval. Can be renewed every year to extend but requires the HRB to renew. Need to tell prospective buyer that that is a condition of the COA. Total number of renewals permitted is 5 times.
- Walkway in between the existing house and the proposed garage can be administratively approved, just provide the pictures and details of new walkway

2. Building Codes:

- Pool: Required to have a pool barrier. Fence 4' if completely encloses the pool area then that should take care of that requirement.
- Guest house: Comply with IRC

-
- Garage: No living space above, typical 2 car garage, no issues so long as codes and setbacks are being met.
 - X flood zone

3. *Architecture:*

- **Previous HTRC comments from 02/25/2026:**
 - The guest house has increased by 58 SF and has increased to have two full bathrooms. Applicant to clarify why there is a second full bathroom. Demonstrate compliance with the 50% max. footprint rule as stated in Section 3.11.2 of the Beaufort Code (existing footprint is listed twice as 2,034 SF and 2,099 SF on sheet 5). Staff is more supportive of the smaller footprint.
 - In general, the drawings are still hard to read, and details are difficult to determine. Please provide digital copies, not scanned PDFs.
 - Provide information on exterior details, cutsheets (windows, doors, roofing, brick, paint colors, lighting), etc. for the guest house and the garage if submitting for final approval.
 - Provide drawings for the fence.
- **Previous HTRC comments from 09/03/2025:**
 - Staff believes the garage should be moved further away from Monson Street so that is behind the house (not the porch). **(UPDATE post-meeting: Garage placement can stay as is).**
 - Per Section 3.11.2.E, garages can be max. 50% of the primary unit or 1500 SF, whichever is smaller.
 - Per Section 2.4.1.C.6, detached garages are to be set back a minimum of 20 feet from the front setback, which in this case would be both the Monson Street side and the North Street side since this property is on a corner. Demonstrate compliance and note recommendation in item 1.c above. **(UPDATE post-meeting: Front façade is considered North Street since that is where it derives its street address).**
 - Per Section 3.11.2.H, the size of a pool house can be max. 50% of the footprint of the primary unit, or 640 SF, whichever is smaller. Based on this code requirement, the 924 SF guest house appears too large to comply with the code. For a detached carriage house, the maximum size shall not exceed 50% of the footprint of the primary building, or 1500 SF, whichever is smaller. Clarify whether this is considered a pool house or a detached carriage house. **(UPDATE post-meeting: ADU is considered a carriage house. Area is within 50% max.).**
 - Provide clearer floor plans and elevations – include elevations of all four sides of each proposed building.
 - Provide information on exterior details, cutsheets (windows, doors, roofing, brick, paint colors, lighting), etc. for the guest house and the garage.
 - Provide drawings for the fence.
 - Provide drawings for the service yard.
 - **UPDATED NOTE POST-MEETING:** Staff is supportive of the applicant’s request to move the brick walkway in the backyard and redo it. Please provide pictures of the front walkway that was recently completed for reference.
 - Staff recommends reducing the size of the front piers that were constructed.

4. *Historic Beaufort Foundation (HBF):*

- Suggest re-studying the size of the vent for the garage. It appears too large.

Landmark/Specimen tree preservation:

- 42-inch Live Oak (Landmark tree) species to be preserved and protected.

Surrounding Area:

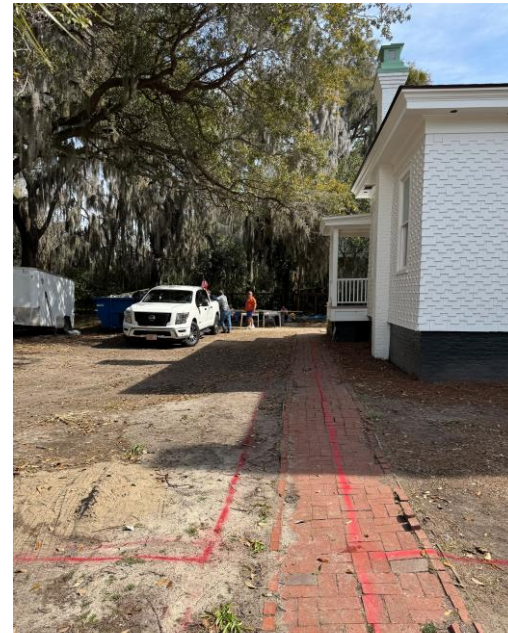
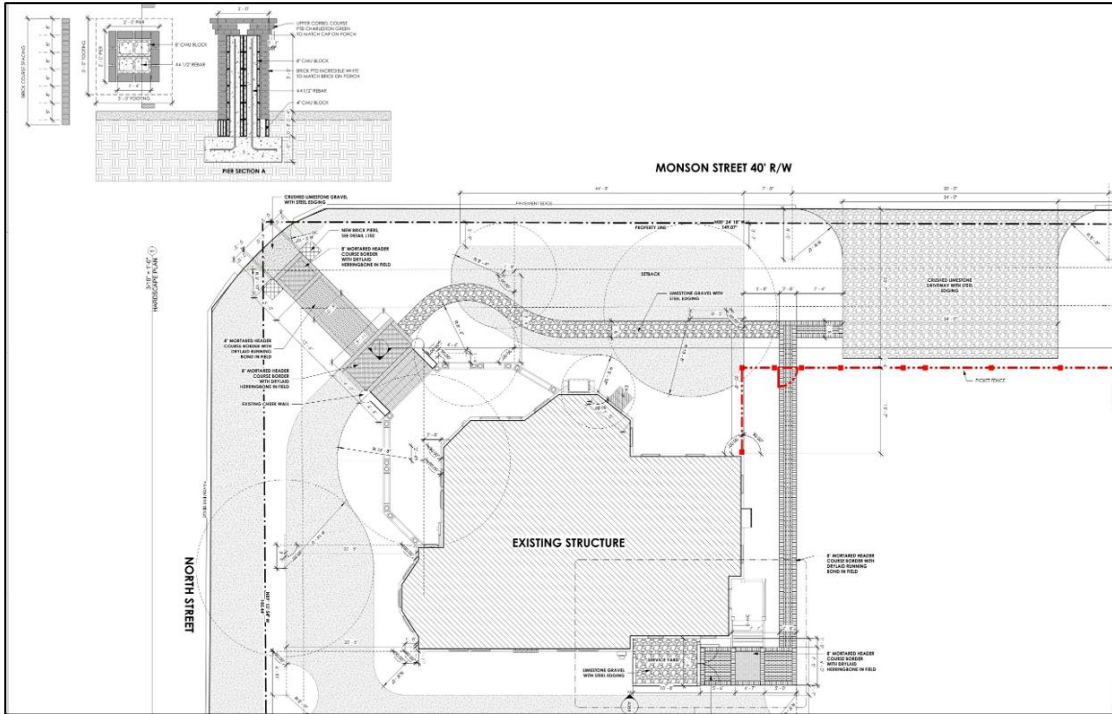
- Located in the Bluff neighborhood, this subject property and primary dwelling (Emil E. Lengnick house) resemble one of the last Queen Anne structures in the Beaufort Historic District and thus is an important contributing resource which of late has undergone comprehensive historic preservation/renovation work. The former bed and breakfast, which used to be painted pink, sits prominently at the corner of North & Monson Streets and together with surrounding contributing structures from different architectural and historical eras, marks an important cornerstone of the Bluff neighborhood.

Determination of adequate historic integrity for New Construction, Infill, Additions and Demolition:

- As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within the Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations below.

1411 North Street – Analysis of requested placement for additional structures & new/upfitted hardscaping (HDRB)

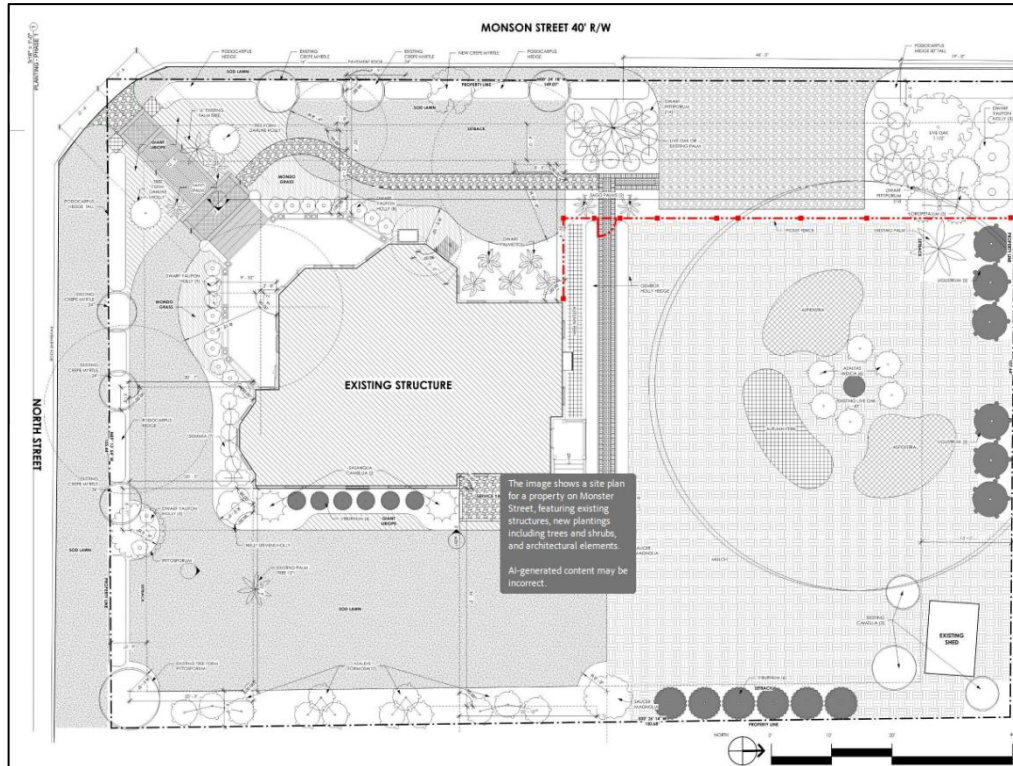
1. Front (South) elevation: Addition of brick piers and brick walkway (latter already administratively approved) – Phase 1



Staff analysis:

- Brick work at front steps and front pathway has been administratively approved through issuance of a CoA letter in Nov. 2025 with the request of utilizing “Full Range Paver brick” in a herringbone-style & straight pattern
- Front brick piers were not covered by staff-issued CoA letter
- There’s no historic example of there having been front entrance piers before
- Slight shifting and upfits to existing brick pathways in the rear have also been administratively approved (see CoA letter from 2/26/2026)

2. Landscaping Plan - Complementing the existing green envelope of the property - Phase 1



Staff analysis:

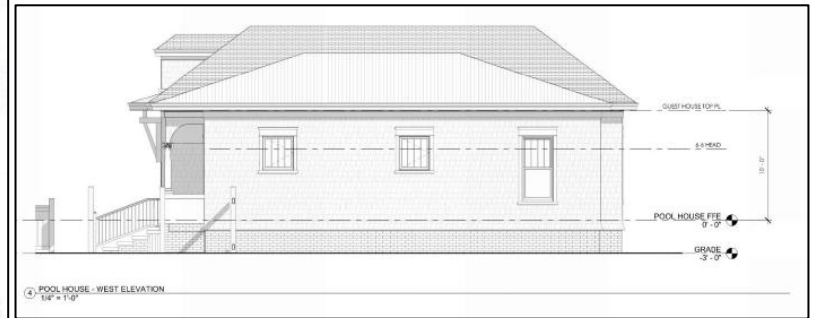
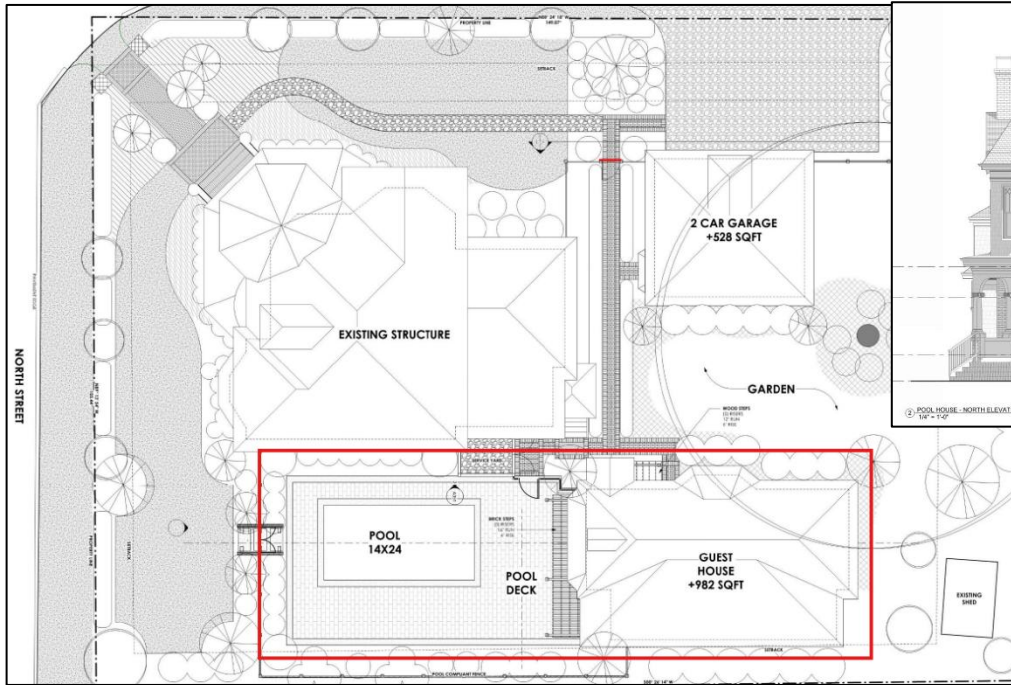
- The landscaping plan incorporates elaborate placement of typical Lowcountry flora, including preservation of existing Palmetto trees along the front and side as well as the 43" Live Oak tree in the back yard
- The proposed landscaping around the front and sides of the property are intended to create screening to both the proposed pool and pool house / guesthouse and blend in with the hardscaping features (i.e. brick pathways, brick front piers – painted in white)
- Podocarpus box hedges with intermittent placement of Crepe Myrtles will create an attractive hedge along both North & Monson Streets

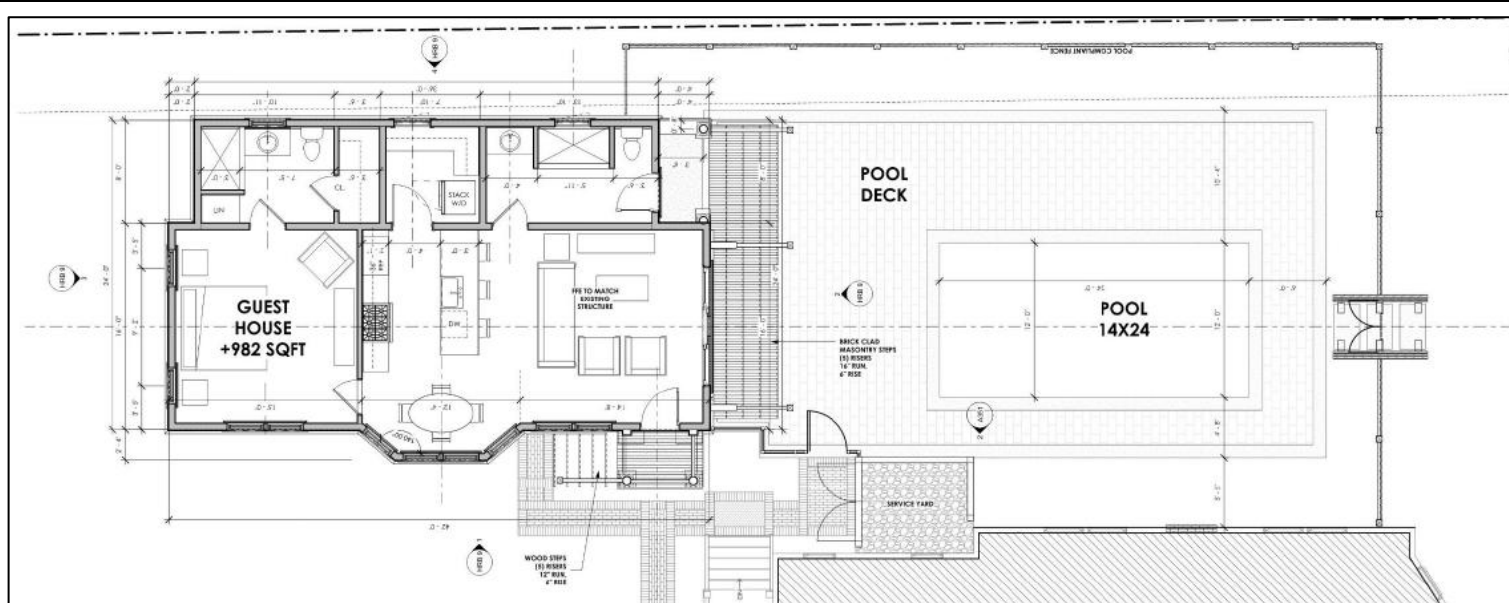


Staff analysis – Carriage House/2-car garage:

- Meets requirements for placement of accessory structures, i.e., detached garages: **20 ft. min from front façade** (Sec. 2.4.1) for T4-HN district
- Meets requirements for placement of Carriage House in accordance with Sec. 4.5.3: **“Accessory structures shall be located behind the front façade of the primary structure (...)”**.
- Meets size requirement in accordance with Sec. 3.11.2, whereas the min. size is 240 sq. ft. and the **maximum is no more than 50% of the footprint of the primary dwelling unit** (~2,034sq. ft.); New 2-car garage is 528 sq. ft. in size (under roof).
- Building Design positively incorporate design features from primary dwelling, such as ***front porch arches for garage doors, 4-over-one windows over garage doors, roof slope and roof form (hipped) and dormer reflecting triangular gable on side roof***; this meets the design requirement in Sec. 4.5.3, which states: **“8. Compatibility with Primary Structure: Architectural details, including color, siding, roof pitch, window detailing, roofing materials, height, and foundation, shall be compatible with the primary dwelling unit.”**

4. Placement of accessory structures: b) Pool House/Guesthouse (+982 sq. ft.) & c) Pool (+336 sq. ft.) with Pool Deck (+1,276 sq. ft.) - Phase 2





Staff analysis – Pool House/Guesthouse & Pool:

- Pool House / Guesthouse meets requirements for placement of accessory structures, i.e., detached garages: **20 ft. min from front façade** (Sec. 2.4.1) for T4-HN district
- Meets requirements for placement of Carriage House in accordance with Sec. 4.5.3: **“Accessory structures shall be located behind the front façade of the primary structure (...)”**.
- Meets size requirement in accordance with Sec. 3.11.2, whereas the min. size is 240 sq. ft. and the **maximum is no more than 50% of the footprint of the primary dwelling unit** (~2,034sq. ft.). New pool house/guesthouse is 982 sq. ft. in size (under roof).
- **Lot coverage of max. 55% for roofed & 65% for all impervious coverage in T4-HN district is met**; total lot area: 15,965 sq. ft. / total roofed area: 3,544 sq. ft = 22.2%; Total impervious surface coverage: 5,286 sq. ft. (pool deck: 1,276 sq. ft., walkways: 276 sq. ft., shed: 100 sq. ft.) = 33%
- Building Design positively incorporate design features from primary dwelling, such as ***4-over-one windows, roof slope /roof form (hipped) and dormer reflecting existing dormers on main house***; this meets the design requirement in Sec. 4.5.3, which states: **“8. Compatibility with Primary Structure: Architectural details, including color, siding, roof pitch, window detailing, roofing materials, height, and foundation, shall be compatible with the primary dwelling unit.”**

4.7.2 Integrity Guidelines (as per Beaufort Development Code)	<u>Rationale Present</u>	<u>Staff Analysis of Rationale</u>
1. Location: This is the relationship between the property and its historical context.	YES	✓ The additional (accessory) structures complement the primary “Queen Anne” style dwelling as many design features have been replicated. Together with extensive landscaping/hardscaping improvement and protection of a prominent Landmark tree the historical context is well maintained and preserved.
2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details.	YES	✓ Individual architectural design features have been included as well as careful hardscape & landscaping features that will preserve & improve the streetscape, spatial relationships and the feeling at this prominent location.
3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.	YES	✓ The prominent setting of the property and primary contributing dwelling at the corner of North & Monson Streets by the proposed improvements and accessory structures is not being negatively compromised, but positively underlined.
4. Materials: These are the physical elements that make up a property or district.	TBD	✓ A full detailed materials list (specification sheets/”cutsheets”) has not yet been provided. However, details on proposed materials, such as siding, roofing, window, stairs, etc. will be submitted at a later date (prior to Final Approval).
5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected.	YES	✓ Staff believes that the workmanship for the new accessory structures as well as the improved hardscape and landscaping positively contribute to the Bluff neighborhood and the entire Beaufort Historic District.
6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects,	YES	✓ Staff believes the feeling of the surrounding structures will not be negatively impacted by this proposal.

the feeling of surrounding structures should be considered and respected.		
7. Association: This is the direct link between an important historic event or person and a property.	YES	✓ The former Emil E. Lengnick House in its unique style and location (positioning) will be well preserved.

FINDINGS AND RECOMMENDATIONS

Staff Recommendation: Staff recommends **CONCEPTUAL APPROVAL** in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following recommendations:

1. Staff recommends scaling back the masonry piers that were recently added, as they appear out of context and scale with the main, contributing structure and recommends the applicant provide drawings for piers of a reduced size for staff level approval.
2. Applicant to provide and cutsheets including windows, doors, roofing, brick, paint colors, lighting, etc. for the guest house and the garage.
3. Applicant to provide building sections and details including typical window head/sill/jambs, door details, etc.
4. Applicant to provide drawings for the fence.
5. Applicant to provide drawings for the service yard.



1411 NORTH ST

Search Zoning

R120 004 000 0663 0000: T4-HN

Zoning Information

T4-HN: HISTORIC NEIGHBORHOOD DISTRICT
Flood Zone: X
Elevation: > 13 ft

Parcel Information

PIN: [R120 004 000 0663 0000](#)
AIN: 219061
Status: A
TAG: 120
Legres: LegRes
Area Code: 196

Retail Frontage Overlay ...

City of Beaufort Road Classifications Layer ...

Address Points ...

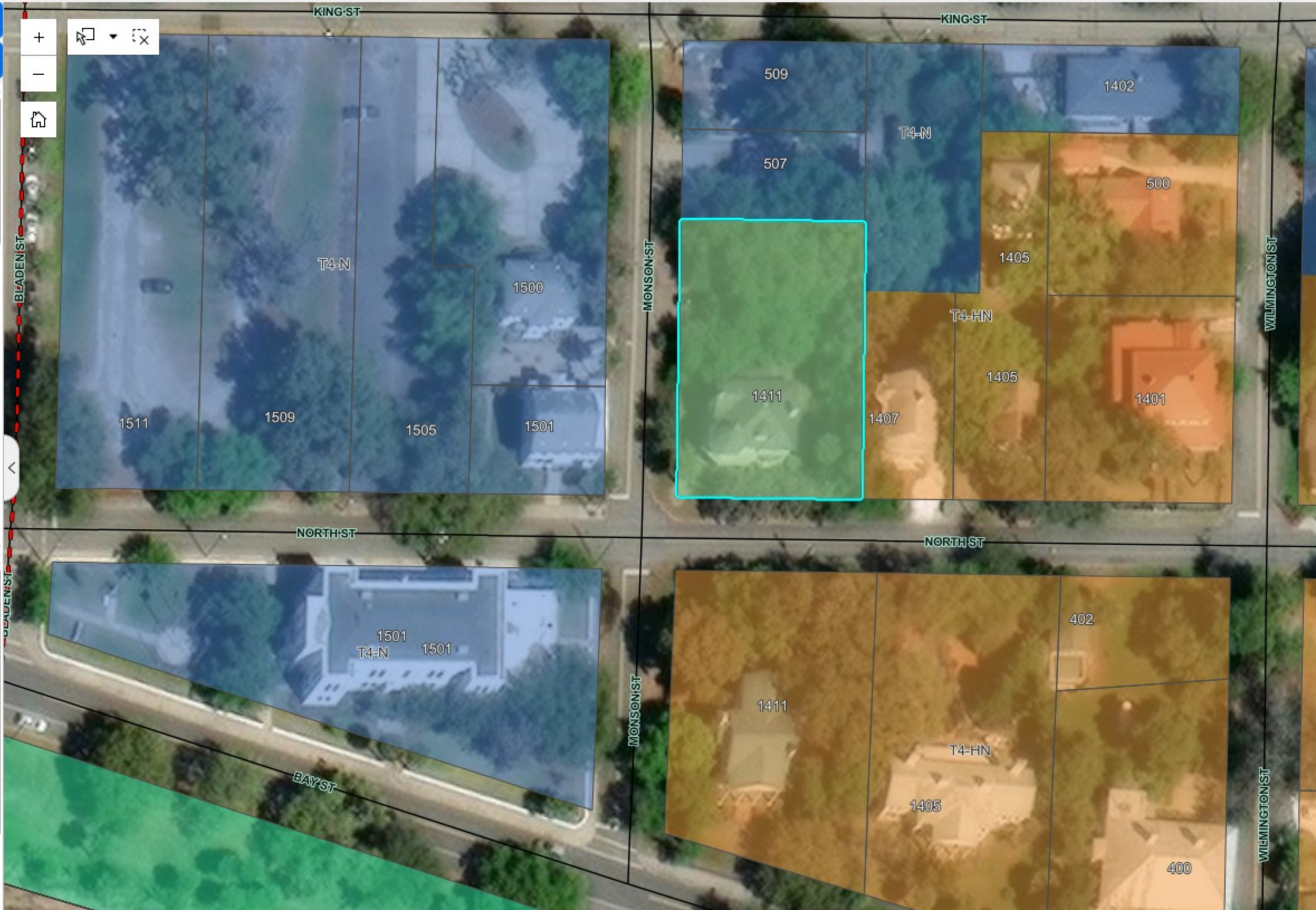
CityOfBeaufort_Parcels ...

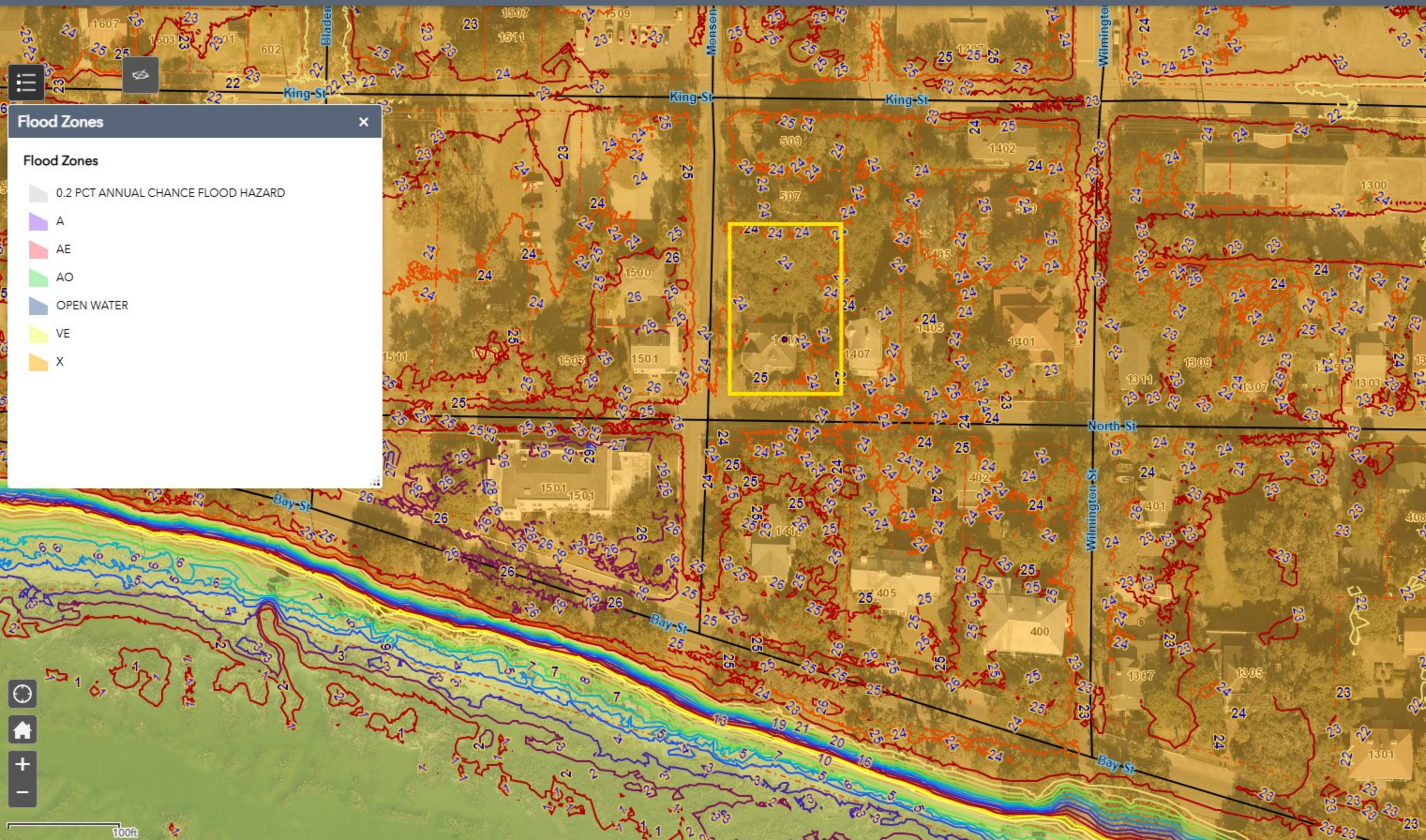
City Limits Public ...

Beaufort County Wetlands ...

City of Beaufort Zoning ...

CoB Building Elevation ...





Flood Zones [Close]

Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X

100ft

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetBeaufort Historic District
Beaufort County, SCSection number 7 Page 27

List of Contributing Resources, Continued

Address	Historic Use / Name	Date	Description	Block	Site Number
Newcastle St., 1005	single dwelling	1915	1-1/2 story frame dwelling	74	1054
Newcastle St., 1008	single dwelling	1910	1-story frame dwelling	84	1085
Newcastle St., 1012	single dwelling	1915	1-story frame dwelling	84	1084
North St., 507	single dwelling	1875 ca.	2-story frame dwelling	25	820
North St., 509	single dwelling Thomas Hazel House	1850 ca.	2-story frame dwelling	25	819
North St., 606	single dwelling	1870 ca.	1-1/2 story frame dwelling	36	857
North St., 607	single dwelling	1880 ca.	2-story frame dwelling	35	853
North St., 608	single dwelling	1870 ca.	2-story frame dwelling	36	856
North St., 804	single dwelling	1920 ca.	1-story frame dwelling	58	954
North St., 807	single dwelling	1850	1-story frame dwelling	57	952
North St., 900	single dwelling	1875 ca.	1-story frame dwelling	69	1022
North St., 902	single dwelling Blythewood House	1897	2-story frame dwelling	69	1021
North St., 912	single dwelling	1880 ca.	1-story frame dwelling	69	1020
North St., 1014	single dwelling	1880 ca.	2-story frame dwelling	80	1078
North St., 1217	single dwelling	1910 ca.	2-story frame dwelling; altered	98	1150
North St., 1301	single dwelling	1890 ca.	2-story frame dwelling	106	1185
North St., 1305	single dwelling	1900 ca.	1-story frame dwelling	106	1187
North St., 1307	single dwelling	1925 ca.	1-1/2 story frame dwelling	106	1188
North St., 1311	single dwelling	1930 ca.	1-story frame dwelling	106	1189
North St., 1401	single dwelling	1902 ca.	2-story frame dwelling	114	1216
North St., 1405	single dwelling	1890 ca.	2-story frame dwelling	114	1217
North St., 1407	single dwelling	1890 ca.	2-story frame dwelling	114	1218
North St., 1411	single dwelling Emil E. Lengnick House	1907 ca.	2-story frame dwelling	114	1219
North St., 1611	single dwelling	1940 ca.	2-story frame dwelling	130	2567
Pinckney St., 501	single dwelling James Robert Verdier House	1814 ca.	2-story frame dwelling	7	758
Pinckney St., 604	single dwelling Edward Means House	1853 ca.	2-story brick dwelling	11	769
Pinckney St., 804	single dwelling Dr. John A. Johnson House	1850 ca.	2-story brick dwelling	9	760

x

See continuation sheet 7-28

5. DESCRIPTION (CONT'D.)

Notable Features: Original imbricated shingles, glazing; paired Doric colonettes on porch; fireplace chimney well integrated into house form.

Condition: EXTERIOR Excellent Good Fair Deteriorated Ruins
 INTERIOR Excellent Good Fair Deteriorated Ruins

Integrity: a. Original Site b. Moved If so, when and from where _____

Major Alterations or Additions: No major work has hurt house; shingles may have originally been cypress.

Date(s) (if known) _____

Related Outbuildings and Property:

barn carriage house garage(x)* shop shed wash house smoke house
 kitchen slaves' quarters gardens orchards fencing (type) _____
 walling (type) _____ other (_____)

Threats and/or intrusions to Building:

none known zoning roads development deterioration other (_____)

6. INTERRELATIONSHIPS OF BUILDING AND SURROUNDINGS

a. Relationship to Street: Pivotal Positive Neutral Negative

b. Relationship to District: Pivotal Positive Neutral Negative

Basis for relationship: a. corner location

b. integrity - condition - style is unique in district

7. SIGNIFICANCE

Date of Initial Construction: pre-1800 c.1800 c.1810 c.1820 c.1830
 c.1840 c.1850 c.1860 c.1870 c.1880 c.1890 c.1900
 c.1910 after 1910 Specific Date (if known) 1910**

Style Georgian Second Empire Georgian Revival Art Deco
 Federal Italianate Neo-Classical Revival Ranch Style
 or Classic Revival Romanesque Revival Federal Revival Split-Level
 Influence: Gothic Revival Queen Anne Bungalow Other
 Tuscan Villa Eastlake Cottage (_____)

Historical Association: Early Settlement _____ Community Development _____
 Civil War: Hospital _____ Headquarters _____ Office _____

8. SOURCES

**Auditors card, cited in Feiss-Wright inventory.

9. COMMENTS: *Shed and garage, c.1910? - tarpaper roof; 9" weatherboards.

Recorder: Schooler Date of Inventory: 2/12/79
 Photographer: Hollenberg Date of Exposure: 1/79

1411 NORTH STREET
SOUTHWEST ELEVATION



● 1411 NORTH STREET
SOUTHWEST ELEVATION

RECOMMENDED REPAIRS:

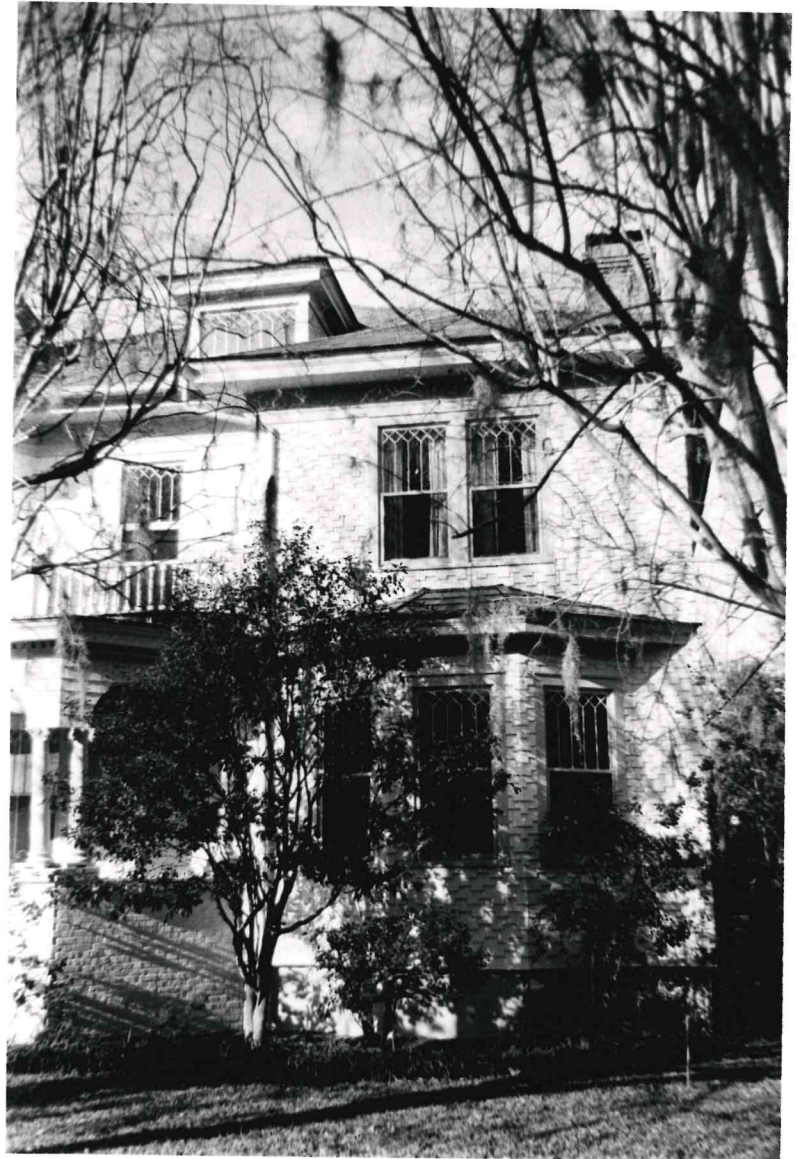
• Replace metal chimney cap

• Investigate painted areas for clues to earlier color schemes more appropriate to the period of the house

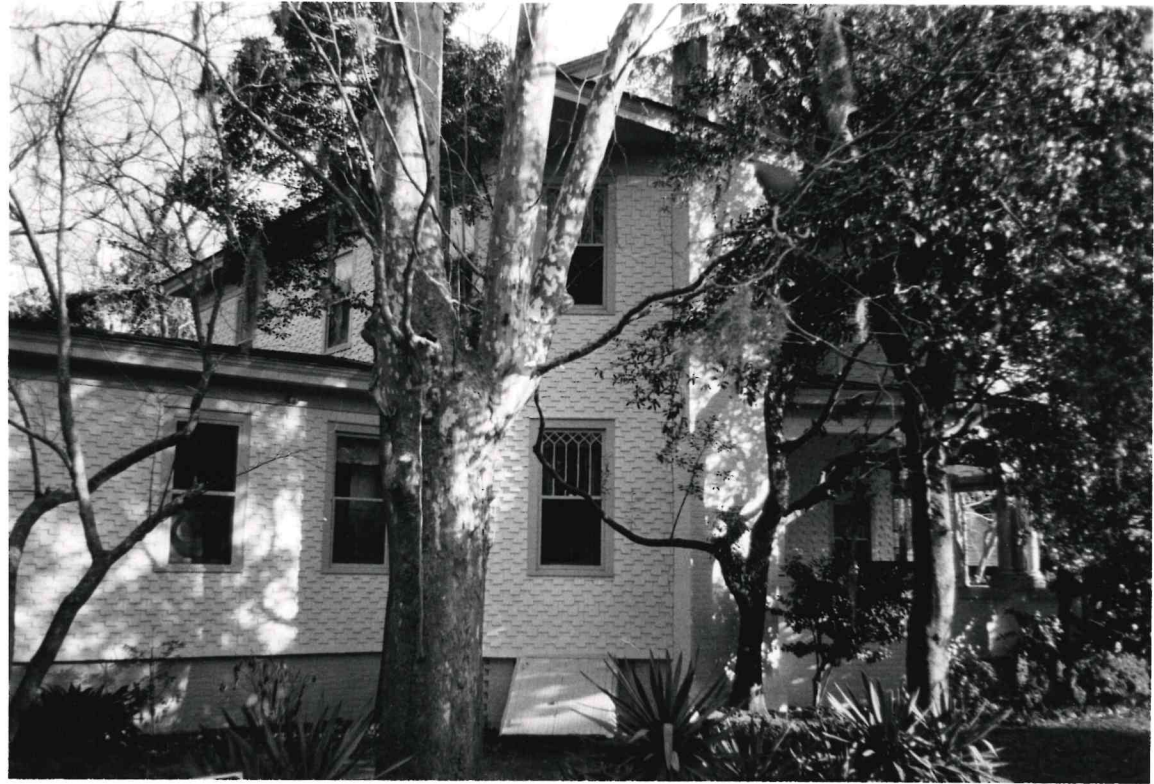
• Consider replacing porch hardware -- bell, knocker, etc.



1411 NORTH STREET
SOUTH ELEVATION



1411 NORTH STREET
WEST ELEVATION



1411 NORTH STREET
NORTH ELEVATION



1411 NORTH STREET
EAST ELEVATION





1411 NORTH STREET

NEW ACCESSORY STRUCTURES

ZONING SUMMARY

PIN: R120 004 000 0663 0000

AIN: 219061

Status: A

TAG: 120

Legres: LegRes

Area Code: 196

Area Name: THE BLUFF HISTORIC COMM & RES

Class Code (Not Zoning): ResImp SglFam

HistoricDistr

Book: 4423

Page: 1311

ZONING: T4-HN

OVERLAY: HISTORIC DISTRICT – PRESERVATION

NEIGHBORHOOD

***NOTE PRINCIPLE STRUCTURE NOW UNDEGOING RENOVATION**

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1411 NORTH STREET

1411 NORTH ST., BEAUFORT, SC 29902

REVISION SCHEDULE

#	DESCRIPTION	DATE

HRB REVIEW BOARD -
CONCEPTUAL

ISSUE DATE:
2/4/2026

EXISTING CONTEXT

HRB 1



ABOVE: GIS MAP INDICATING SURROUNDING STRUCTURES

LEFT: SANBORN MAP CIRCA 1910

NEIGHBORING PROPERTIES



1300 NORTH STREET



1407 NORTH STREET



VIEW FROM CORNER OF NORTH STREET AND MONSON STREET



1411 NORTH STREET - FRONT OF HOUSE SHOWING PIERS

VIEW OF PARKING
AREA AND PROPOSED
CARRIAGE HOUSE
LOCATION



VIEW OF SIDE YARD
TOWARDS PROPOSED
POOL AND GUEST
HOUSE LOCATION



HOUSE OPPOSITE 1411
NORTH STREET



CARRIAGE HOUSE
OPPOSITE 1411 NORTH
STREET



OLD COURT HOUSE



LAW OFFICE
BUILDING WEST OF
1411 NORTH STREET

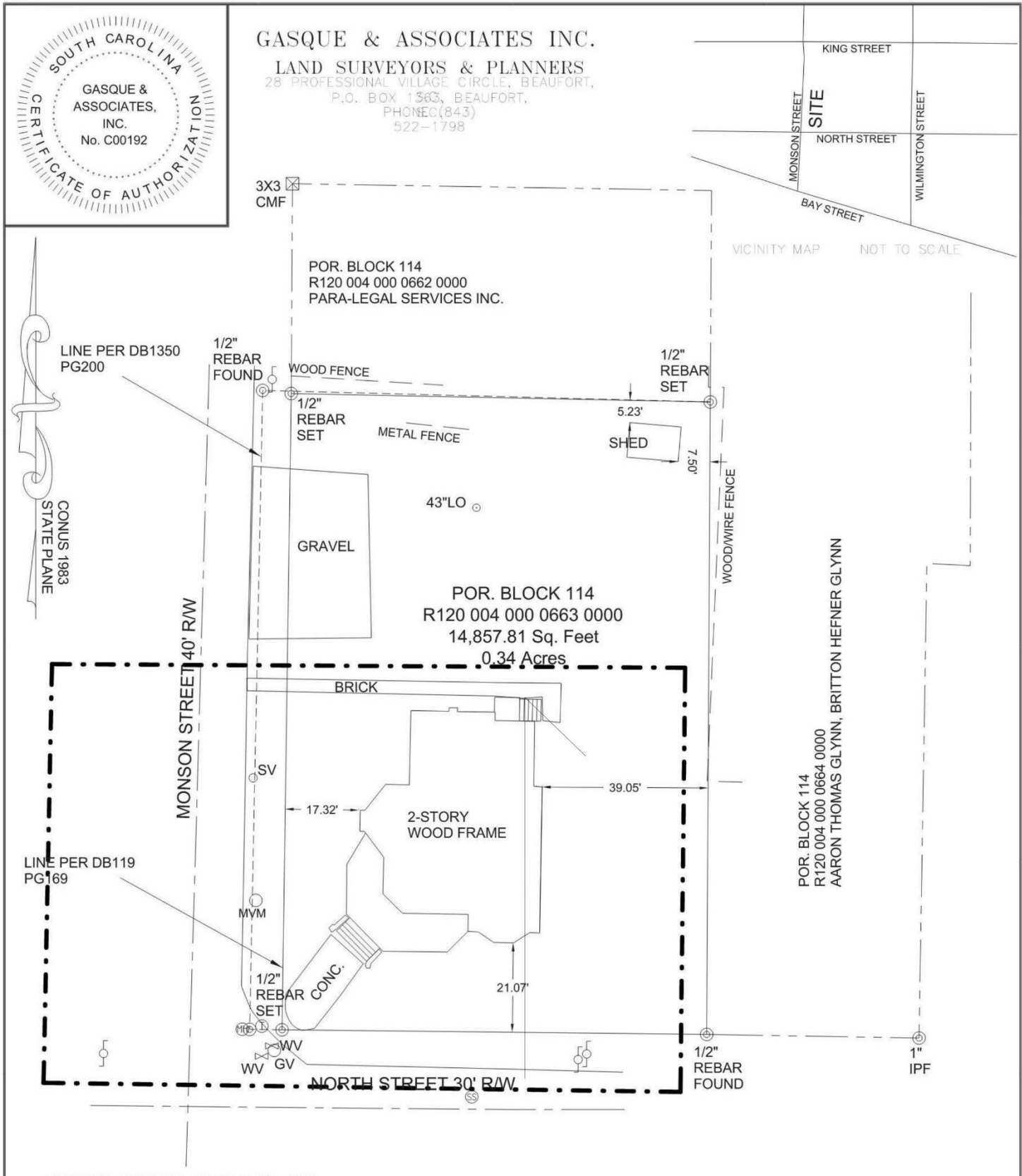




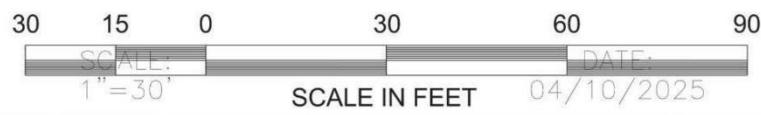
ADJACENT OFFICE
BUILDING TO NORTH
OF 1411 NORTH STREET



ACCESSORY
STRUCTURE ACROSS
MONSON, WEST OF
1411 NORTH STREET



ASBUILT SURVEY PREPARED FOR
STEVE GOGGANS
 BEING A PORTION OF BLOCK 114 CITY OF BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA, AS DESCRIBED IN DEED BOOK 119 PAGE 169 IN THE OFFICE OF THE REGISTER OF DEEDS FOR BEAUFORT COUNTY, SOUTH CAROLINA, FURTHER DESCRIBED ON A PLAT BY DAVID E. GASQUE, DATED 10/12/2000 IN DEED BOOK 1350 AT PAGE 200 IN THE OFFICE OF THE REGISTER OF DEEDS FOR BEAUFORT COUNTY, SOUTH CAROLINA.
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 THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "X" UNSHADED AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 45013C0166G DATED MARCH 23, 2021. (1988 NAVD)
 THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH ANY RESTRICTIVE COVENANTS OR ANY CITY AND/OR COUNTY ORDINANCES.
 I, DAVID E. GASQUE, HEREBY CERTIFY TO STEVE GOGGANS THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS SURVEY AS SPECIFIED THERE IN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THEN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL. AREA DETERMINED BY COORDINATE METHOD.



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 S.C. REGISTRATION NUMBER 10506 FB#/CCG DSGN#6
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GASQUE & ASSOCIATES INC.
 LAND SURVEYORS & PLANNERS
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT,
 P.O. BOX 1363, BEAUFORT,
 PHONE: (843) 522-1798



CONUS 1983 STATE PLANE
 LINE PER DB1350 PG200
 3X3 CMF
 POR. BLOCK 114 R120 004 000 0662 0000 PARA-LEGAL SERVICES INC.
 1/2" REBAR FOUND
 WOOD FENCE
 METAL FENCE
 1/2" REBAR SET
 5.23'
 7.50'
 SHED
 43" LO
 GRAVEL
 POR. BLOCK 114 R120 004 000 0663 0000 14,857.81 Sq. Feet 0.34 Acres
 BRICK
 2-STORY WOOD FRAME
 17.32'
 39.05'
 21.07'
 1/2" REBAR SET
 CONC.
 WV
 GV
 SV
 MYM
 MONSON STREET 40' R/W
 NORTH STREET 30' R/W
 1/2" REBAR FOUND
 1" IPF
 VICINITY MAP NOT TO SCALE
 WILMINGTON STREET
 NORTH STREET
 KING STREET
 BAY STREET
 MONSON STREET
 WOOD/WIRE FENCE
 POR. BLOCK 114 R120 004 000 0664 0000 AARON THOMAS GLYNN, BRITTON HEFNER GLYNN

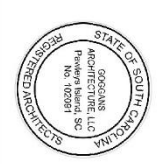
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HRB 2
 PLAT

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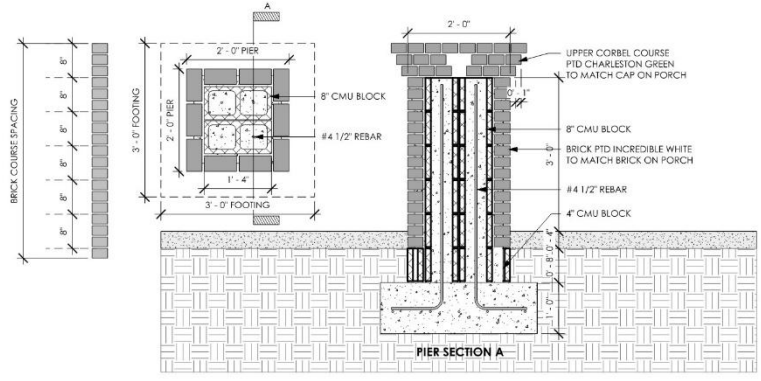
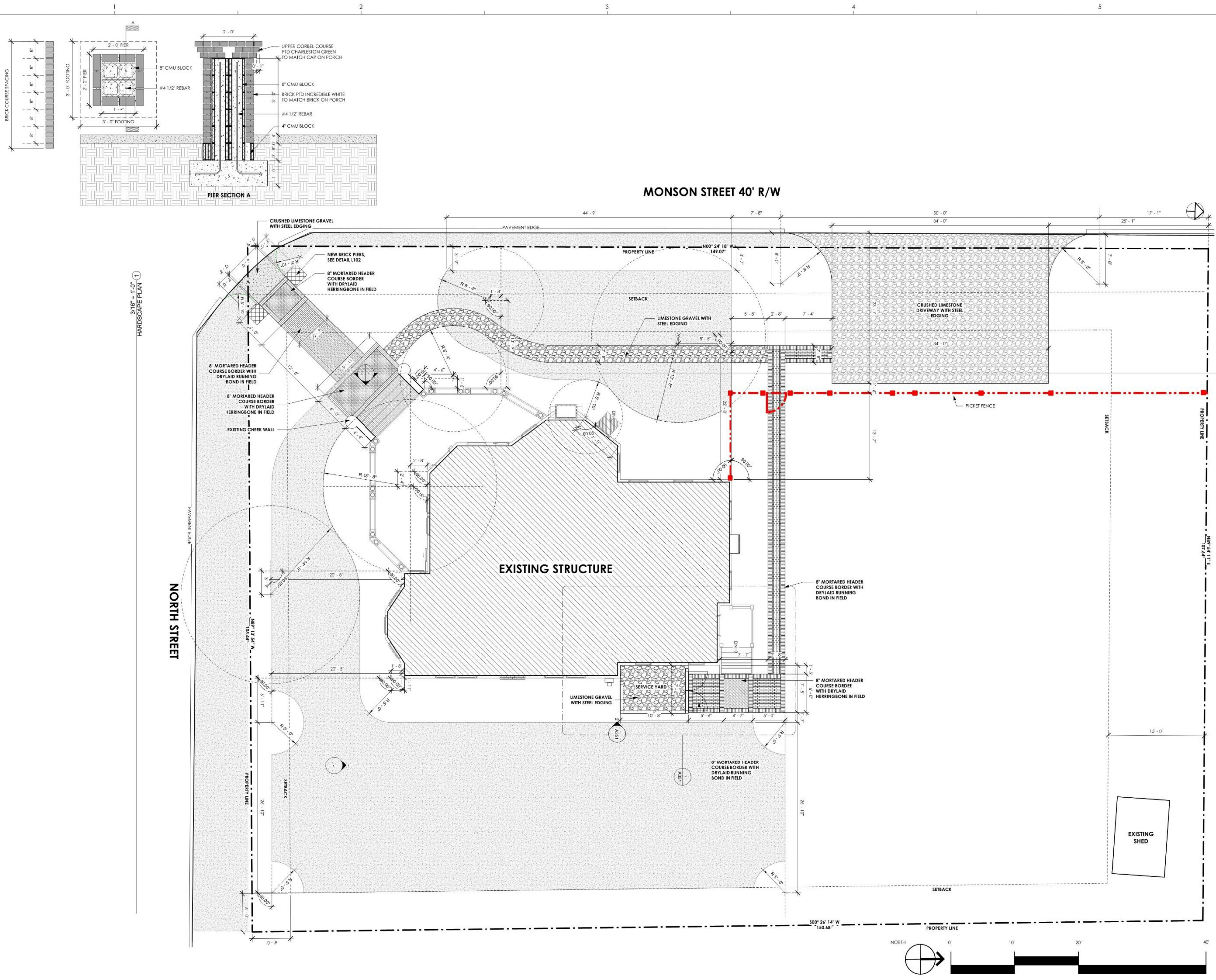
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	DESCRIPTION DATE

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 1411 NORTH ST, BEAUFORT,
 SC 29902



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PROPOSED
HARDSCAPE - PHASE ONE

HRB 3

NEW PLANTINGS - TREES

TREES	BOTANICAL NAME	QTY	SIZE
	EXISTING	12	
	LIVE OAKS	1	
	NELLIE STEVENS HOLLY	1	
	SAUCER MAGNOLIA	2	
	TREE FORM DAHURINE HOLLY	2	
	DWARF PITIOSPORUM	2	
	CREPE MYRTLE - NEW	1	
	EXISTING PALM	4	

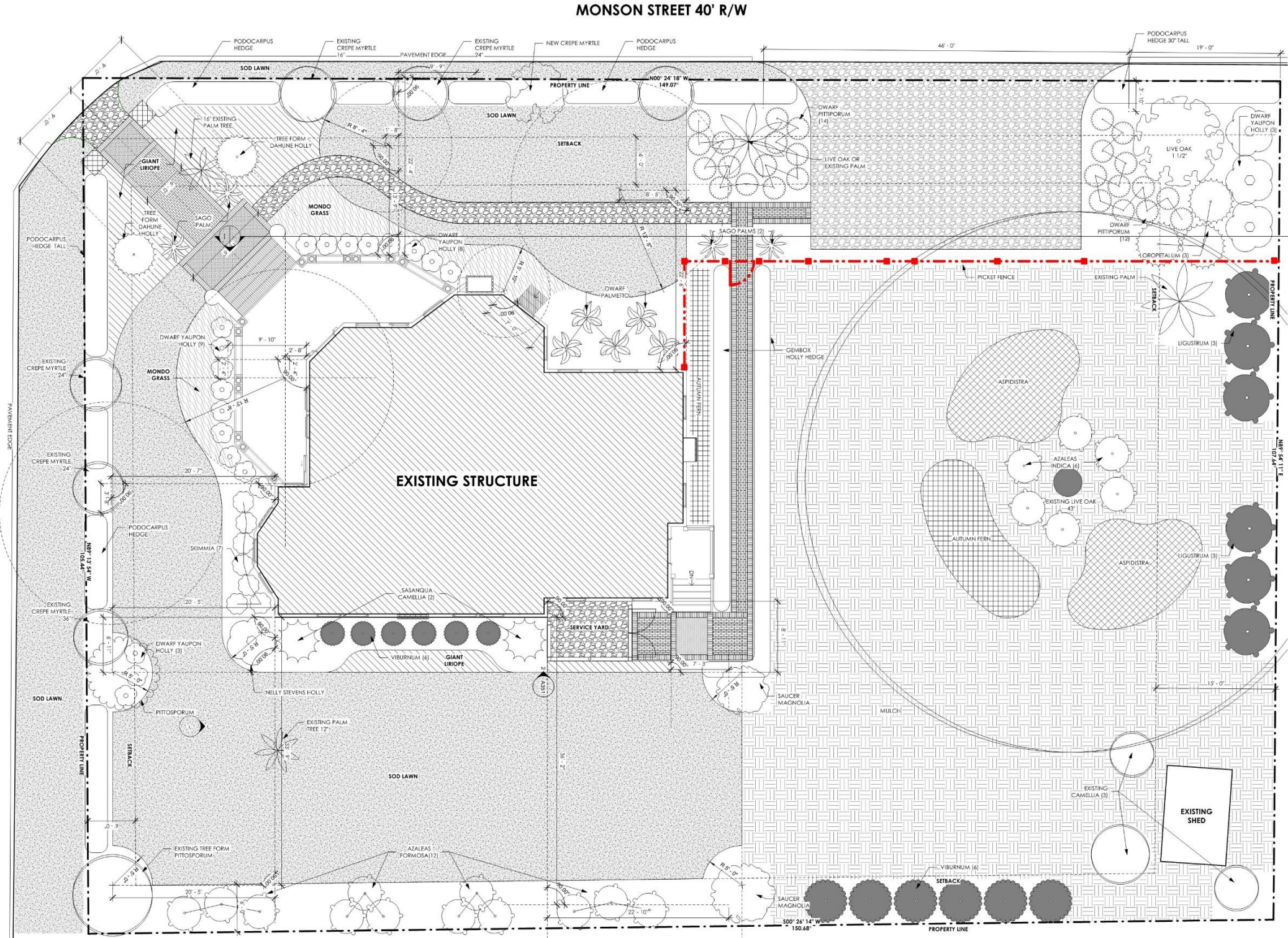
NEW PLANTINGS - SHRUBS

SHRUBS	BOTANICAL NAME	QTY	SIZE
	AZALEAS - REFER TO PLAN	18	
	PODOCARPUS BOX HEDGE	12	
	DWARF PITIOSPORUM	26	
	SAGO PALM	4	
	CAMELIA	2	
	VIBURNUM SUSPENSUM	12	
	DWARF YAUPON HOLLY	23	
	LIGUSTRUM	6	
	DWARF PALMETTO	5	
	LOROPETALUM	6	
	SKIMMIA	7	

NEW PLANTINGS - GROUND COVER

	GIANT LIRIOPE 1 GALLON / 3' O.C.
	AUTUMN FERNS
	SOD
	MONDO GRASS 1 GALLON / 8' O.C.
	ASPIDISTRA
	MULCH

30' x 6" x 10' PLANTING PHASE 1
 NORTH STREET



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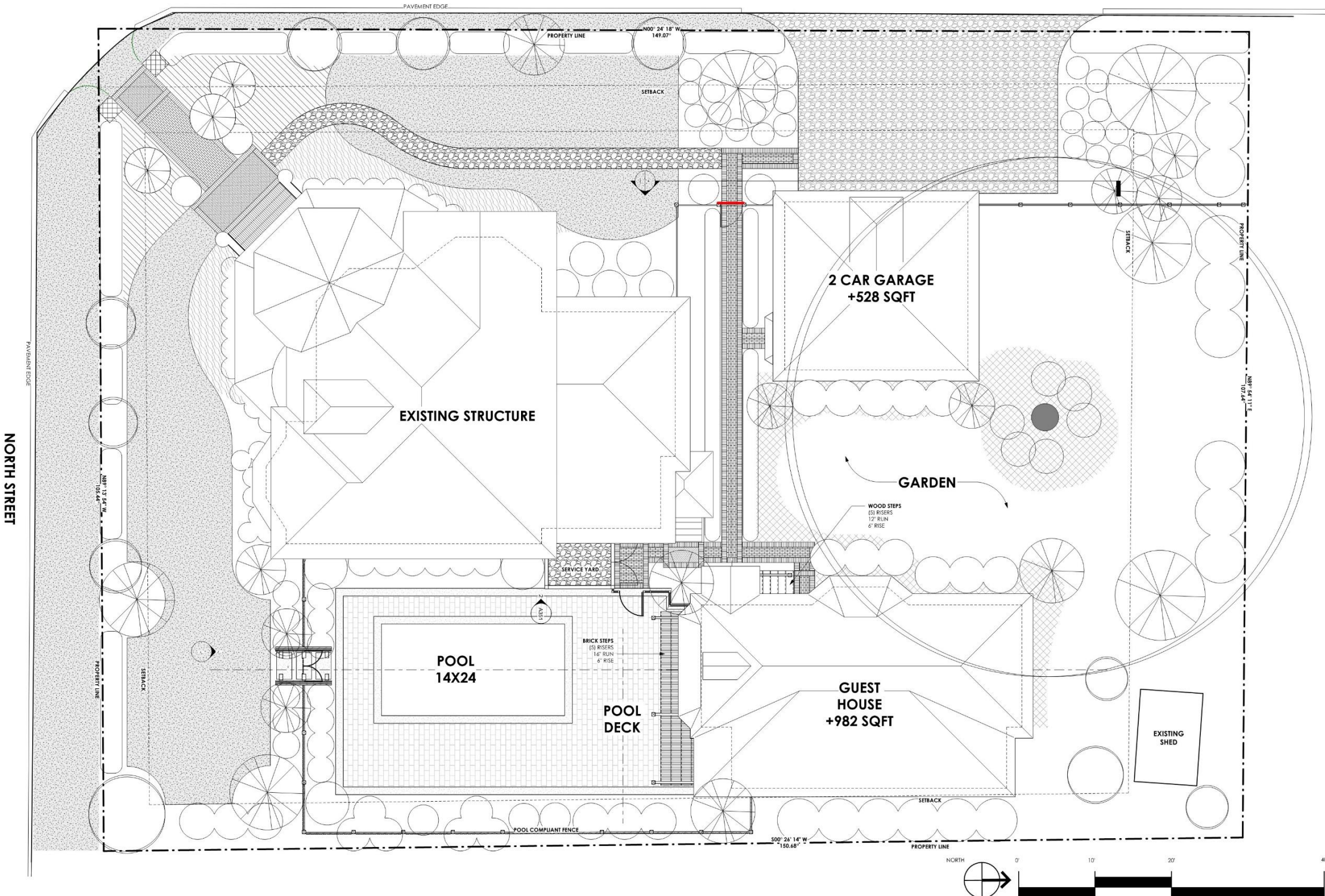
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PROPOSED PLANTING
 PLAN PHASE ONE

HRB 4

1411 NORTH STREET - ZONING SUMMARY	REQUIREMENTS:	ACCESSORY BUILDING PLACEMENT:
PIN: R120-004-000-0663-0000 AIN: 21906 STATUS: A TAG: 120 LEGRES: LEGRES AREA CODE: 194 AREA NAME: THE BLUFF HISTORIC COMM & RES CLASS CODE (NOT ZONING): RESIMP SGLFAM HISTORICDISTR BOOK: 4423 / PAGE: 1311 ZONING: T4-HN OVERLAY: HISTORIC DISTRICT - PRESERVATION NEIGHBORHOOD FRONT SETBACK: AVERAGE PREVAILING SETBACK ON BLOCK SIDE SETBACK - CORNER : 5' SIDE SETBACK INTERIOR 6 FT MIN REAR SETBACK 15 FT MIN.	MAX LOT COVERAGE (ROOFS) 55% UNDER ROOF: PRINCIPLE STRUCTURE (EXISTING) - 2,034 SQFT NEW GARAGE - 528 SQFT NEW CARRIAGE HOUSE - 982 SQFT TOTAL UNDER ROOF - 3,544 TOTAL LOT AREA - 15,965 SQFT PROPOSED PERCENTAGE UNDER ROOF = 22.2% ADDITIONAL IMPERVIOUS AREA POOL DECK - 1,276 SQFT WALKWAY - 276 SQFT EXISTING SHED - 100 SQFT TOTAL IMPERVIOUS AREA = 5,286 SQFT TOTAL IMPERVIOUS PERCENTAGE = 33%	SIDE SETBACKS AND REAR SETBACKS - 5 FT GARAGE DOORS/ CARPORTS WHICH FACE A PUBLIC ROW, SHALL ME MINIMUM 20 FT FOR THAT ROW. BUILDING HEIGHT 2 STORIES 20 FT MAX 2 ALLOWED PER LOT MAX NO OF BEDROOMS 2 MINIMUM SIZE: 240 SQFT IN TOTAL AREA MAX SIZE FOOTPRINT SHALL NOT EXCEED 50% OF THE FOOTPRINT OF THE PRIMARY BUILDING, OR 1500 SQFT, WHICHEVER IS SMALLER. 1 PARKING SPACE PER CARRIAGE HOUSE IS REQUIRED EXISTING FOOTPRINT - 2099 SQFT

MONSON STREET 40' R/W



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 SC 29902

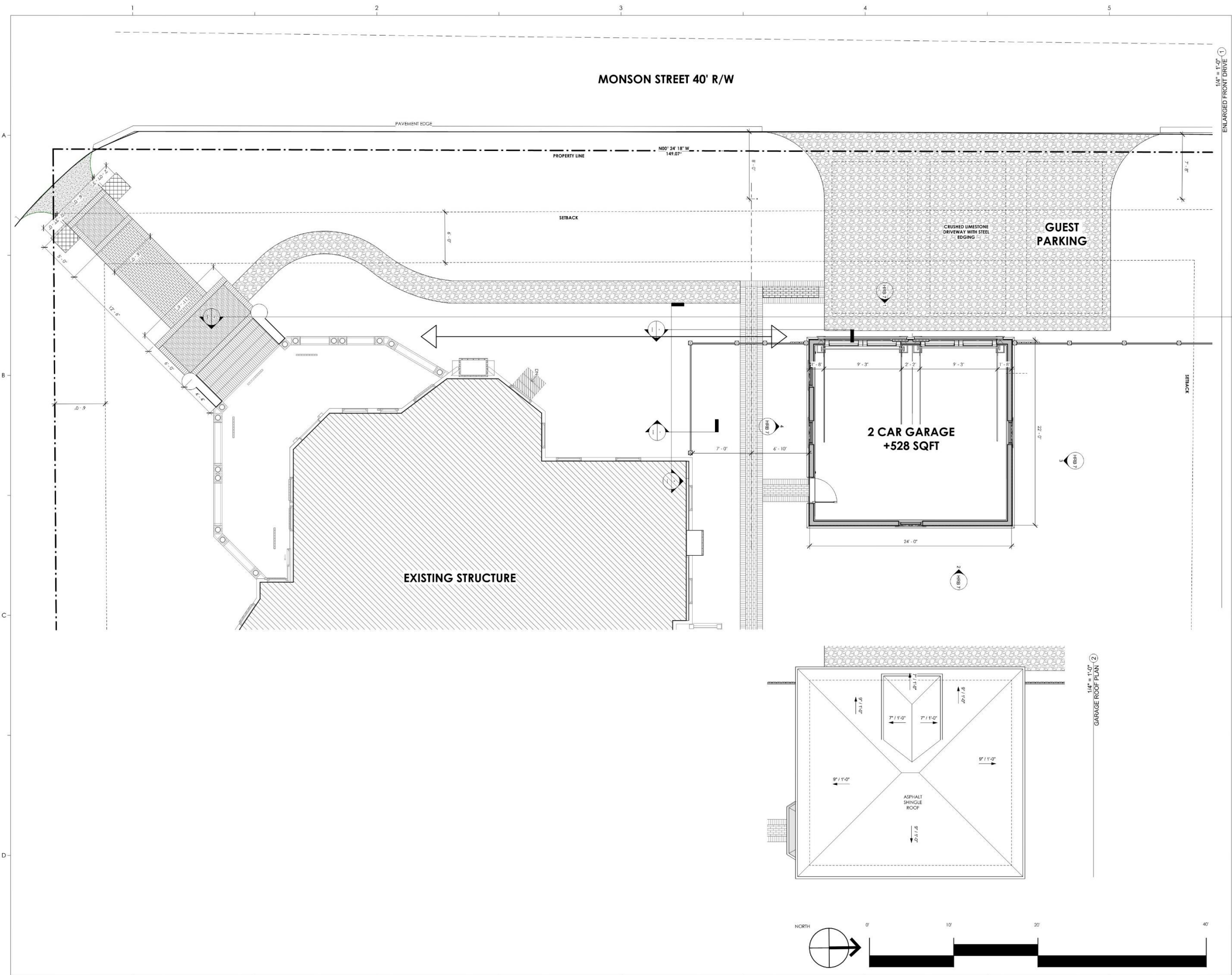
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ISSUE DATE:
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PROPOSED SITE PLAN
 PHASE TWO

HRB 5



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NEW GARAGE PLANS

HRB 6

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#	DESCRIPTION	DATE

HRB REVIEW BOARD - CONCEPTUAL

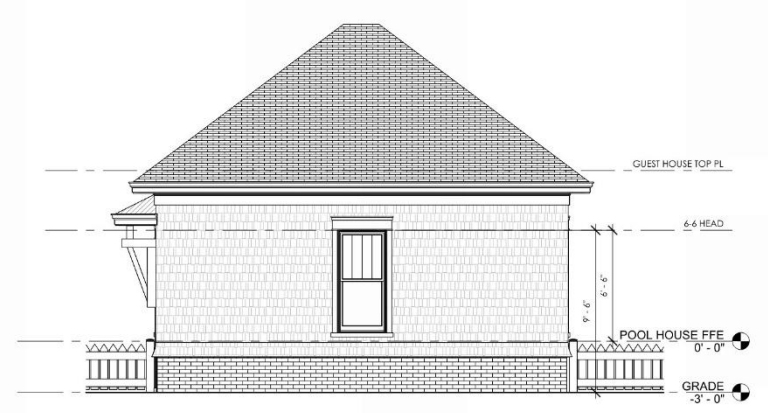
ISSUE DATE:
2/14/2026

NEW GARAGE ELEVATIONS

HRB 7



1 MONSON STREET ELEVATION
1/4" = 1'-0"



2 SCHEMATIC GARAGE REAR ELEVATION
1/4" = 1'-0"



3 SIDE ELEVATION
1/4" = 1'-0"



4 SIDE ELEVATION 2
1/4" = 1'-0"



GOGGANS
ARCHITECTURE | INTERIORS
8263 OCEAN HIGHWAY, FAYLETS ISLAND, SC 29985
843.237.3421 | GOGGANSARCHITECTURE.COM

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1411 NORTH STREET
1411 NORTH ST, BEAUFORT, SC 29902

REVISION SCHEDULE		
#	DESCRIPTION	DATE

HRB REVIEW BOARD - CONCEPTUAL

ISSUE DATE:
2/14/2026

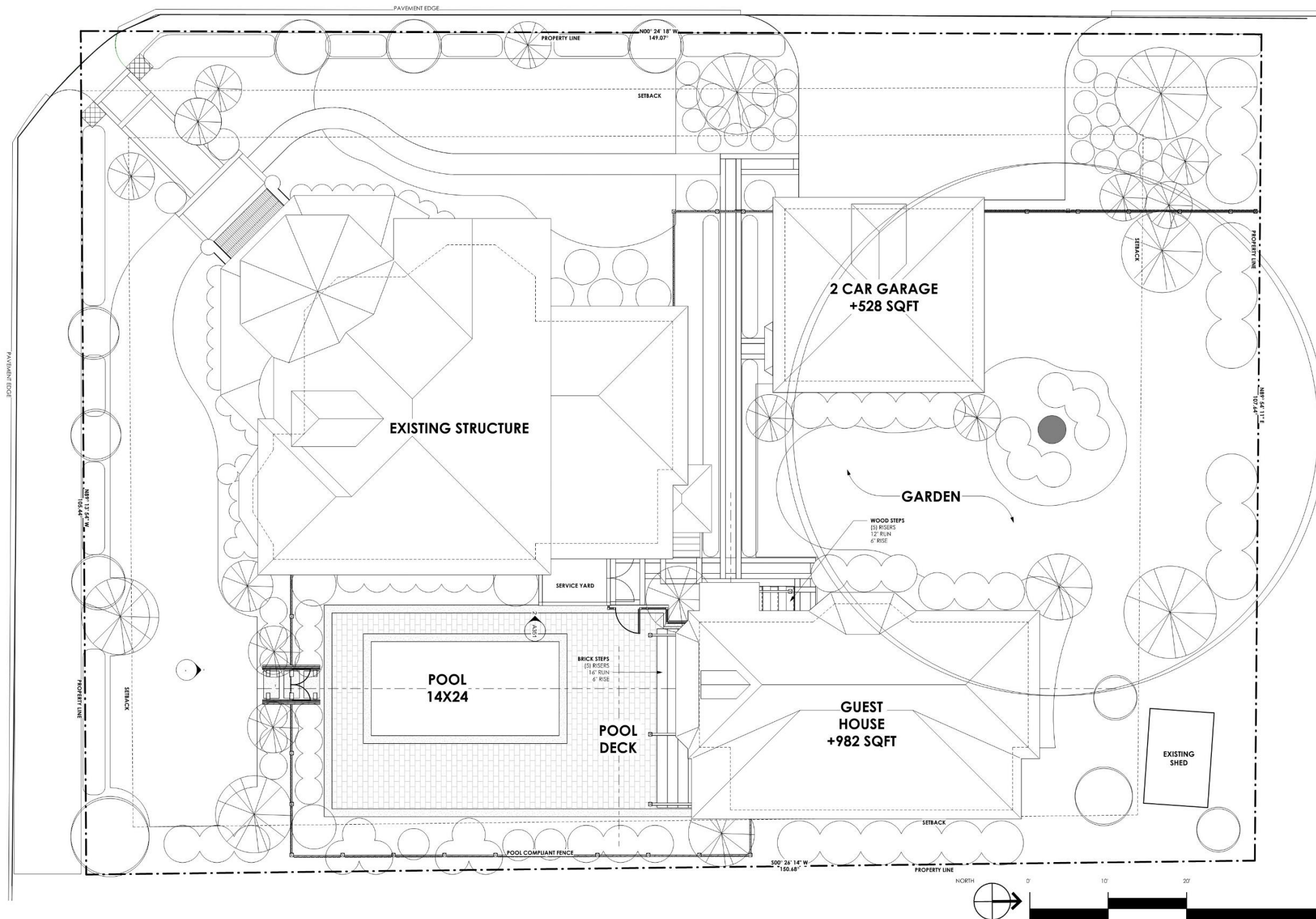
NEW POOL HOUSE ELEVATIONS

HRB 9

1411 NORTH STREET - ZONING SUMMARY	REQUIREMENTS:	ACCESSORY BUILDING PLACEMENT:
PIN: R120-004-000-0663-0000 AN: 219045 STATUS: A TAG: 120 LEGRES: LEGRES AREA CODE: 196 AREA NAME: THE BLUFF HISTORIC COMM & RES CLASS CODE (NOT ZONING): RESIMP SGLFAM HISTORICDISTR BOOK: 4423 / PAGE: 1311 ZONING: T4-HN OVERLAY: HISTORIC DISTRICT - PRESERVATION NEIGHBORHOOD FRONT SETBACK: AVERAGE PREVAILING SETBACK ON BLOCK SIDE SETBACK - CORNER : 5' SIDE SETBACK INTERIOR 4 FT MIN REAR SETBACK 15 FT MIN.	MAX LOT COVERAGE (ROOFS) 55% UNDER ROOF: PRINCIPLE STRUCTURE (EXISTING) - 2,034 SQFT NEW GARAGE - 528 SQFT NEW CARRIAGE HOUSE - 982 SQFT TOTAL UNDER ROOF - 3,544 TOTAL LOT AREA - 15,965 SQFT PROPOSED PERCENTAGE UNDER ROOF = 22.2% ADDITIONAL IMPERVIOUS AREA POOL DECK - 1,276 SQFT WALKWAY - 276 SQFT EXISTING SHED - 100 SQFT TOTAL IMPERVIOUS AREA = 5,286 SQFT TOTAL IMPERVIOUS PERCENTAGE = 33%	SIDE SETBACKS AND REAR SETBACKS - 5 FT GARAGE DOORS/ CARPORTS WHICH FACE A PUBLIC ROW, SHALL ME MINIMUM 20 FT FOR THAT ROW. BUILDING HEIGHT 2 STORIES OF 30 FT MAX 2 ALLOWED PER LOT MAX NO OF BEDROOMS 2 MINIMUM SIZE: 240 SQFT IN TOTAL AREA MAX SIZE FOOTPRINT SHALL NOT EXCEED 50% OF THE FOOTPRINT OF THE PRIMARY BUILDING, OR 1500 SQFT, WHICHEVER IS SMALLER. 1 PARKING SPACE PER CARRIAGE HOUSE IS REQUIRED

MONSON STREET 40' R/W

3/16" = 1'-0"
PROPOSED PLAN FOR COLOR ①



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1411 NORTH STREET
1411 NORTH ST, BEAUFORT,
SC 29902

REVISION SCHEDULE		
#	DESCRIPTION	DATE

HRB REVIEW BOARD -
CONCEPTUAL

ISSUE DATE:
2/14/2026

PROPOSED PLAN FOR
COLOR

HRB 11



MONSOON STREET ELEVATION



NORTH STREET ELEVATION

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1411 NORTH STREET

1411 NORTH ST, BEAUFORT,
SC 29902

REVISION SCHEDULE		
#	DESCRIPTION	DATE

HRB REVIEW BOARD -
CONCEPTUAL

ISSUE DATE:
2/14/2026

GRAPHIC ELEVATIONS

HRB 12



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS - UPDATED

November 17, 2025

Mr. Steve Goggans

Via Email: steve@goggansarchitecture.com

RE: 1411 North Street – Staff Approval

Dear Mr. Goggans:

As a result of our discussions with you at the last Historic District Technical Review Committee (HTRC) Meeting on May 14, 2025, The City of Beaufort Historic Planning Staff has reviewed your submitted Project Scope pertaining to all the presented in-kind repairs and improvements of *The Emil E. Lengnick House at 1411 North Street (built circa 1907)*.

We are supportive of your proposed exterior repairs and improvements as follows:

- **Replace the chimney cap with identical design in galvanized steel and painted (white)***
- **Replace roof shingles with new asphalt shingle roof, and copper standing seam on low roofs**
- **Replace all low roof cladding with standing seam copper roof**
- **Replace all gutters and downspouts with copper gutters and downspouts**
- **Rebuild soffits and cornices with like kind materials, consistent with the original construction (front porch)**
- **Replace/repair siding shingles with like kind material**
- **Replace beadboard ceiling on front porch with like kind material**
- **Restore balustrade to match the original**
- **Repair/replace any rotted cornices with like kind material**
- **Prepare and paint entire exterior, including cladding, windows, cornices and trims in the original white color by utilizing following paint: Benjamin Moore, OC-17, White Dove***
- **Refinish porch flooring and replace any rotted flooring with like kind flooring**
- **Repair cellar doors with like kind material and paint***
- **Remove and replace all foundation plantings with new plants that are suitable**
- **Prune Live Oak tree limbs encroaching onto the first-floor roof (rear addition) and rebuild that chimney with salvaged brick**
- **Repair/replace chimney flashing (rear addition)**
- **Remove any overgrown vegetation near the house, including vegetation at porch and foundation**



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS - UPDATED

(Continued from page 1)

- **Replace deteriorated Dutch Lap siding on addition with like kind material and painted***
- **Replace missing glazing panel on dormer with glass of the same kind and thickness. Moreover, the windows, trim and cornices will be repaired and painted. The gutters will be replaced with copper, half-round gutters.**
- **Replace existing & uneven front steps (brick and concrete rubble mix with uneven mortar caps mudded over) as well as brick-paved pathway with new “Full Range Pathway Paver Bricks” from Acme Brick (manufacturer).**

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other city ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances may be required. Please contact the City Building Codes Office located at 1911 Boundary Street, (843) 525-7049, to apply for the necessary permits. A copy of this letter must be submitted with your application for a permit.

Be advised that this Certificate of Appropriateness will expire two years from the date of this letter as per Section 9.1.4 of the Beaufort Code. If you make any changes in your project that are not part of the approval plan, you will need to apply for a Changer After Certification.

If you have any questions, feel free to call the Community Development Department at (843) 525-7011.

Sincerely,

Christopher Klement, Planner III
Community Development Department

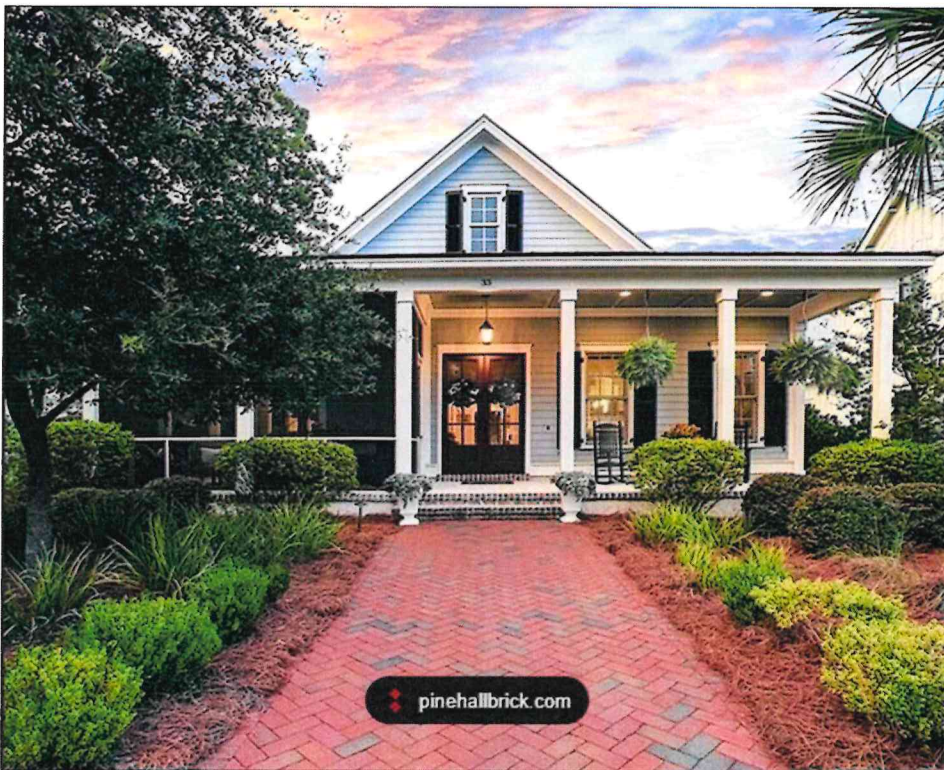
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Brick material spec sheet - 1411 North Street



The **Pathway Full Range Paver brick** from Acme Brick is a traditional wire-cut square-edge clay paver. Here are some key details:

- **Dimensions:** 4" by 8" by 2.25" thick.
- **Color:** A blend of roughly seventy percent red pavers with a range of dark charcoal colors.
- **Modular Sizes:** Available in modular sizes of 2.25" and 1-3/8" thickness.
- **Applications:** Complies with ASTM C902, Class SX, Type I, Application PX, and ASTM C67 for Freeze/Thaw.
- **Heavy Vehicular Compliance:** [Complies with ASTM C1272 for heavy vehicular applications.](#)
[For more information, you can visit the Acme Brick website here.](#)





CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS

February 26, 2026

Mr. Steve Goggans

Via Email: steve@goggansarchitecture.com

RE: 1411 North Street – Staff Approval (In-kind refurbishment/upfit of existing brick pathways)

Dear Mr. Goggans:

As a result of our discussions with you at the last Historic District Technical Review Committee (HTRC) Meeting on February 25, 2026, **staff is supportive of your rehabilitation/improvements of the existing brick pathways on the property (in-kind) at 1411 North Street**, aka “The Emil E. Lengnick House”, built circa 1907 and thus, a historically contributing resource on the National Register of Historic Places and also part of the Beaufort Historic Landmark District.

As discussed, the brick pathways shall adhere to the following, whereas the location and width of these brick pathways may be adjusted to provide for safe and comfortable connections between the primary and eventual future accessory structures:

- **Reflect new front entrance walkway and front stairs as to use “Pathway Full Range Paver” bricks from Acme bricks to be laid in either a herringbone or straight or alternating pattern.**
- **Dimensions of brick: 4” by 8” by 2.25” thick (or similar)**
- **Applications: Complies with ASTM C902, Class SX, Type I, Application PX, and ASTM C67 for Freeze/Thaw.**

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other city ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances may be required. Please contact the City Building Codes Office located at 1911 Boundary Street, (843) 525-7049, to apply for the necessary permits. A copy of this letter must be submitted with your application for a permit.



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS

(Continued from page 1)

Be advised that this Certificate of Appropriateness will expire two years from the date of this letter as per Section 9.1.4 of the Beaufort Code. If you make any changes in your project that are not part of the approval plan, you will need to apply for a Change After Certification.

If you have any questions, feel free to call the Community Development Department at (843) 525-7011.

Sincerely,

Christopher Klement, Planner III
Community Development Department

cc: file copy



Michael P. Murphy,
NJ-0146B

13 Prescient Avenue • Lady's Island, South Carolina 29907 • (843)812-8733

August 7, 2025

Steve Goggans
1411 North Street
Beaufort, SC 29902

Re: Garage impact on rear 42-inch live oak

The rear 42-inch live oak is in good physical and structural health with no obvious faults or defects present. The leaf size, color and rate of growth are good. There is a full and complete upper canopy with no evidence of any crown dieback or retrenchment. The inner crown has only minor areas of obvious deadwood and is robust and full. These are all signs of a strong and vigorously growing tree.

One of the downsides of a strong and healthy inner crown is the chance development of cross-rub limbs. These are close growing mature inner limbs that are trying to occupy the same inner canopy space. The bark areas of the limbs start to rub each other because of their proximity. This tree has a nominal amount of these rubs and selected inner pruning by a certified arborist can remedy this situation.

The garage placement, wherever it is finally agreed to be situated, will have an impact on the root system of this tree. Unless the engineering calls for a high raised slab, there will be a need for root cutting at some point in the establishment of the turned down slab. On construction sites like these, it is impossible to eliminate root impacts, so it is the arborists' job to try and minimize the impacts to the lowest extent possible.

Any root cuts can be critical to trees' survivability. The minimum suggested radial setback distance for root cuts is three times the trunk diameter. The preferred radial distance is five times the trunk diameter. This is assuming that the tree is healthy, roots are only cut or impacted on one side of the tree and the tree has no additional root defects or other conditions that would predispose it to failure.

Cutting within these radial setbacks will impact on the trees' overall health somewhat but generally will not substantially increase the risk of failure.

According to these recommendations, the minimal radial setback for the garage from the tree would be 10½-feet. The preferred setback would be 17½-feet. These setbacks need to be measured on site from the leading edge of the tree's rootplate. These designed setbacks notwithstanding, having the ability to move the proposed garage as far away from the tree as is possible would further minimize impacts on the tree root system.

Any roots needing to be cut should be cut cleanly back into the backfill area of the retained root end. All root cut setback distances shall be measured in the field from the leading edge of the tree's root flare or buttress. If any trenching needs to take place within these setbacks, then the excavation will need to be dug by hand for a distance of ten feet either side of the centerline of the tree trunk for a total hand-dug distance of twenty feet. Any roots encountered in this trenching shall also be cut cleanly back into the backfill area.

Please call if you have any questions about these recommendations.

Respectfully submitted,



Michael P. Murphy
Board Certified Master Arborist
NJ-0146B

1106 Craven Street

(Vacant)

**Extension of Decision / CoA Letter for
previously approved development**



CITY OF BEAUFORT
Community Development Department

SCOTT MARSHALL
City Manager

1911 BOUNDARY STREET
BEAUFORT, SC 29902
(843) 525-7011
FAX (843) 986-5606

CURT FREESE
Community Development
Director

March 11, 2026

To: HDRB

From Curt Freese, Community Development Director

Issue: Extension of 1106 Craven Street

Background:

1106 Craven Street received a decision letter of approval for the attached project on March 18, 2024, after preliminary approval in Fall 2023 (see attachments and project sheets). The applicant has not started the project or submitted building plans to vest the project under the original approval. As per the Development Code, Section 9.1.4, a COA/Decision letter is valid for two years with up to three 12 month extensions by the HDRB. Each extension shall be approved by the HDRB, except for minor projects. If approved, the project would be extended until March 11, 2027.

Recommendation:

Approve the requested 12 month extension.



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

DECISION LETTER – Final

March 18, 2024

Cooter Ramsey
Allison Ramsey Architects, Inc.
Via Email: cooter@allisonramseyarchitect.com

RE: (APP #26550) 1106 Craven Street – New Construction

Dear Mr. Ramsey:

On March 13, 2024, the City of Beaufort Historic Review Board (HRB) met to review your application for final approval located at 1106 Craven Street. The HRB voted to grant final approval with the existing conditions to be verified by staff as listed below:

1. Applicant notes that the corbels (brackets) will be PVC. Staff supports the use of PVC since they will be at a higher elevation and not easily discernable from ground level, but staff recommends these be painted with a matte finish to eliminate and glossy appearance.
2. Applicant to submit cutsheets for windows, doors, brick, garage doors, exterior lighting, shutters, flood vents, porch fans, etc.
3. On detail 3, sheet 8, the column is unsupported by the foundation below. Staff recommends applicant align the brick veneer with the outside face of the column base, instead of aligning the brick veneer and column shaft as shown.

You must submit a revised design that meet the conditions noted above. Staff will verify concordance and issue a Certificate of Appropriateness. The Certificate of Appropriateness is required to be submitted with your project permit application.

If you have any questions, feel free to call the Community Development Department at (843) 525-7011.

Sincerely,

Curt Freese, Director
City of Beaufort Community Development

cc: file copy



**CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606**

DECISION LETTER

October 4, 2023

Cooter Ramsey
Allison Ramsey Architects, Inc.
1003 Charles Street
Beaufort, SC 29902

RE: 23-24 HRB.2 1106 Craven Street – New Construction

Dear Mr. Ramsey:

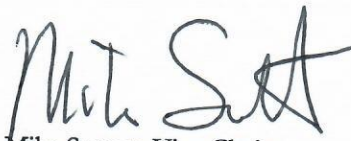
On September 13, 2023, the City of Beaufort Historic Review Board (HRB) met to review your application for construction of a new duplex at 1106 Craven Street. The HRB voted to grant conditional conceptual approval with staff comments.

Staff Conditions:

1. Applicant to use cardinal directions to name the elevations rather than front, rear, left, and right.
2. For final review, applicant shall provide detail section drawings through the recessed panel bay and third floor balcony, as well as a section through the two story balcony.
3. Applicant to note on final drawings that all cementitious materials (recessed panels, lap siding, corner boards, etc.) have a smooth finish.
4. For final review, applicant to provide cutsheets for the windows, exterior pedestrian doors, garage doors, permacast columns, rails and balusters, brick, shutters, etc.
5. Applicant to provide a 2D color rendering.
6. For final review, applicant is to submit a more detailed site plan showing the location of pervious/impervious material, landscaping, etc.
7. Applicant to provide details for the bracketed balcony on the rear (south) façade.

If you have any questions, feel free to call the Development of Community & Economic Development at (843) 525-7011.

Sincerely,

A handwritten signature in black ink that reads "Mike Sutton". The signature is written in a cursive, flowing style.

Mike Sutton, Vice-Chair
Historic Review Board

email: cooter@allisonramseyarchitect.com

cc: file copy



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally + 5 hardcopies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: [X] Conceptual [] Preliminary [] Final [] Bailey Bill Approval* [] Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Cooter Ramsey, Allison Ramsey Architects, Inc

Applicant Address: 1003 Charles Street, Beaufort, SC 29902

Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title: Homeowner Tenant [X] Architect Engineer Developer

Owner (if other than the Applicant): Hank Hofford

Owner Address: 17 Lockwood Drive, 5th Floor, Charleston, SC

Project Name: 1106 Craven Street

Property Address: 1106 Craven Street

Property Identification Number (Tax Map & Parcel Number): r120-004-000-845a-0000

Date Submitted: 08-10-23

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Cooter Ramsey Date: 08-10-23

Owner's Signature: [Signature] Date: 8/10/23

(The owner's signature is required if the applicant is not the owner.)
See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated Sept. 26, 2022)



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

Required Project Information

Project Name: 1106 Craven Street

Property Size in Acres: 0.47

Nature of Work (check all that apply):

- New Construction, Primary Structure
New Construction, Primary Structure
Alterations / Additions
Demolition*
Relocation*
*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
446 ground + 1197 1st floor + 1081 2nd floor = 2724 total heated per unit

Is this project a redevelopment project? [] Y [X] N
Are there existing buildings on the site? [] Y [] N if yes, will they remain? [] Y [] N []

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We presented this project originally in march of 2021. It was rejected at that time. We revised and resubmitted in March of 2022. At that time, many recommendations were made to improve the project in order to receive conceptual approval. Since that time we have worked with the developer and staff to incorporate as many of the recommendations as possible. Proposed floor plans along with site plans, context photos and a 3d model have been included to help understand the project.

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

City of Beaufort Certificate of Appropriateness Checklists

Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: development@cityofbeaufort.org

*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

*This Application Requirements Checklist **MUST** be included in applications, with submitted items checked.

Conceptual Review

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

Preliminary Review: All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

Final Review: All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

start

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eSearchWidget

By Shape

By

Craven St

Craven-St

Craven St

Features selected: 1

1111

1111

1102

1105

1101

1103

Bay-St
Bay St

R120 004 000 845A C

[Situs Address: 1105 E](#)

[Class Code: CommV](#)

[Owner Name: 1105 E](#)

[Owner Name \(Contd](#)

[Mailing Address: PO](#)

[City: BEAUFORT](#)

[State: SC](#)

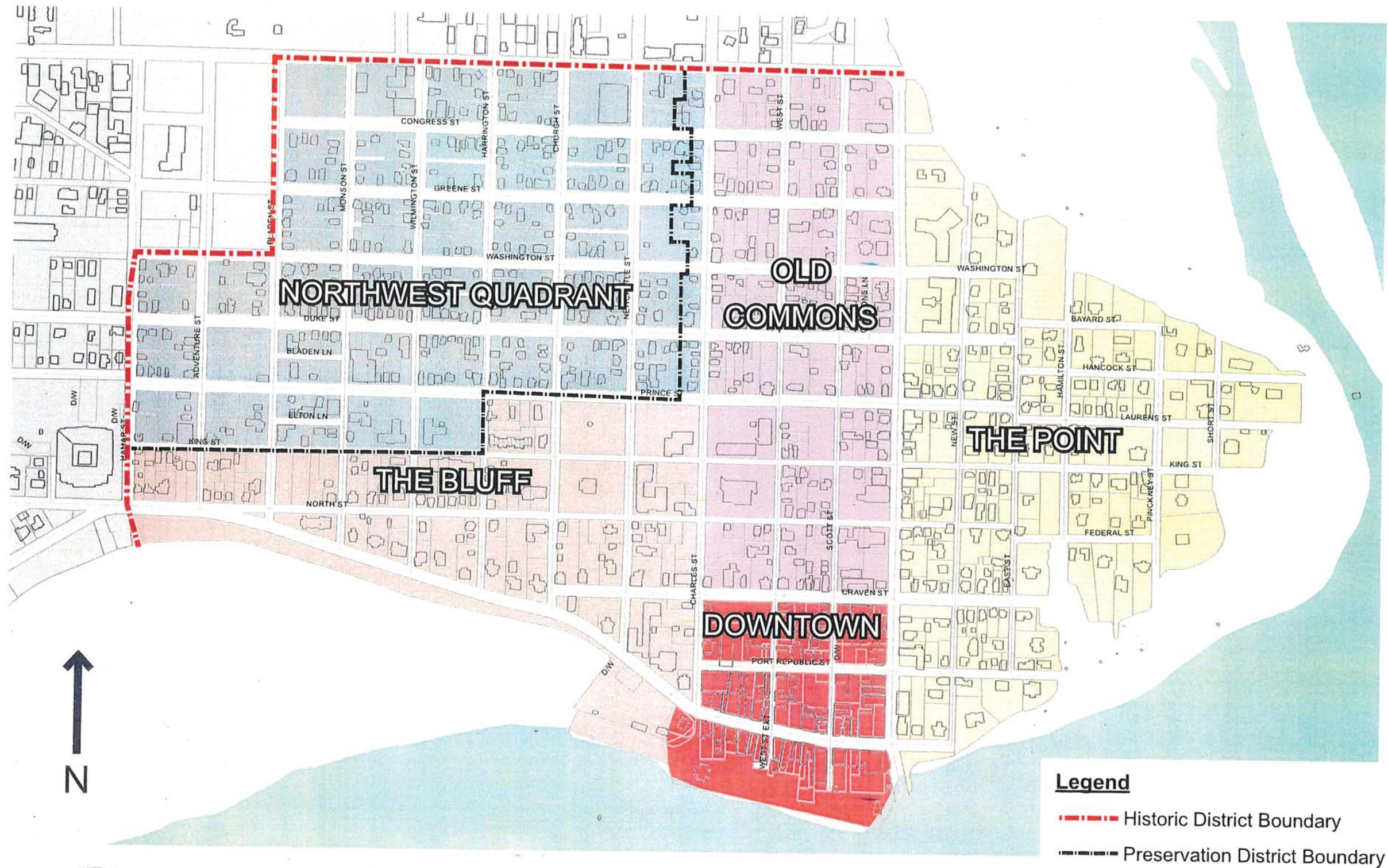
[ZIP: 29901-1027](#)

[Property Max](#)

[Zoning Site](#)

[Elevation and Flood](#)





NEIGHBORHOOD MAP
 NATIONAL HISTORIC LANDMARK DISTRICT

Untitled Map

Write a description for your map.

Legend

-  1105 Bay St
-  Dadaab Refugee Camp
-  Feature 1
-  Feature 2
-  Feature 3
-  First Presbyterian Church
-  Inn
-  Re/Max Island Realty:
-  Secession House
-  Wells Fargo Bank

Google Earth

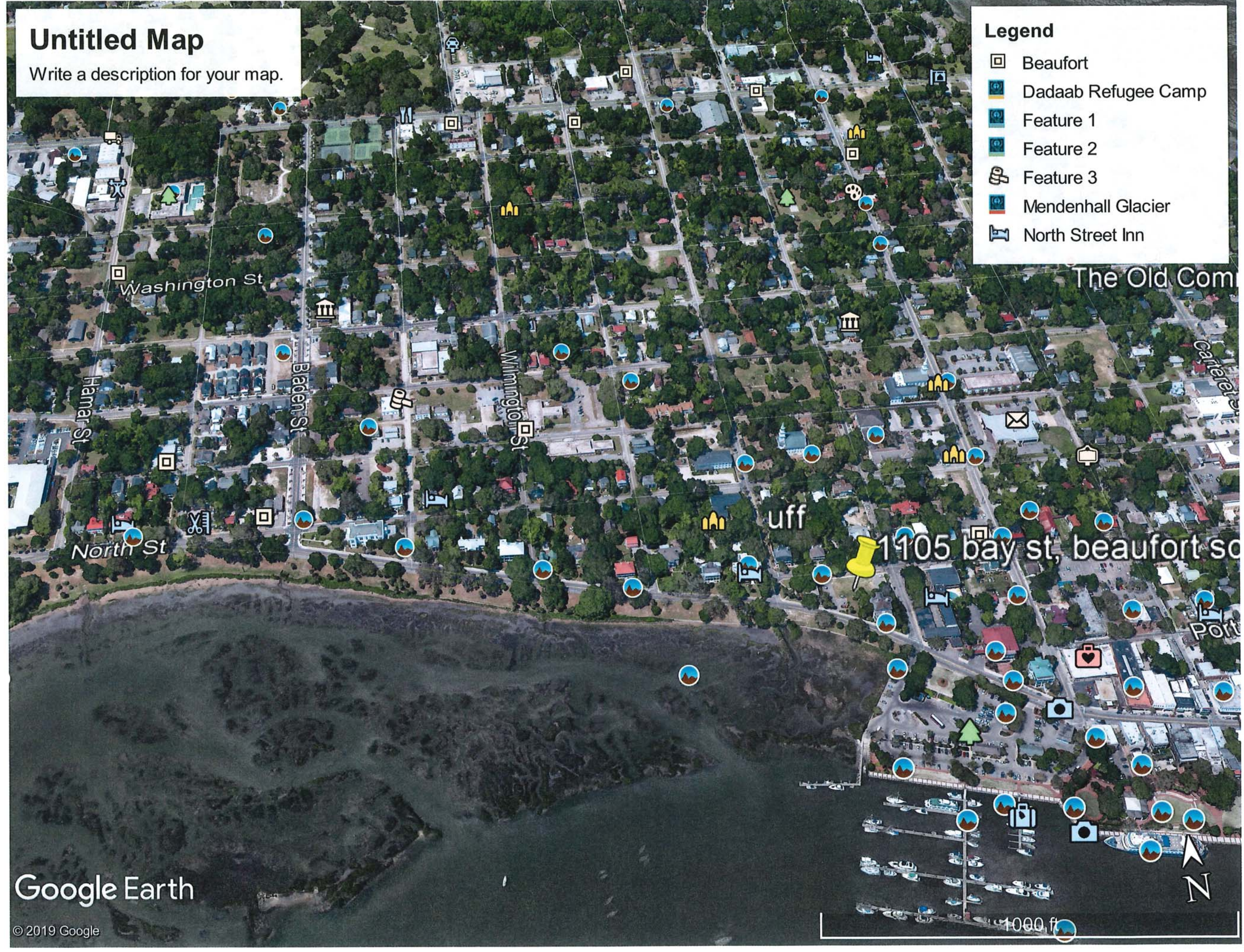
© 2019 Google



100 ft

Untitled Map
Write a description for your map.

- Legend**
- Beaufort
 - Dadaab Refugee Camp
 - Feature 1
 - Feature 2
 - Feature 3
 - Mendenhall Glacier
 - North Street Inn



Google Earth

© 2019 Google

- 1015 Bay Street (Two story eave @ 22' & one story Eave @ 12')
 - From Bay Street



- From Newcastle Street



- From Newcastle & Craven Street



- 1170 Bay Street (Eave @ 40')
 - From Bay Street



- From Craven



- 1111 Bay Street (Eave @ 13')
 - From Bay Street



o From Church Street



o From Craven Street



- 1203 Bay Street (Eave @ 32')
 - From Bay Street



- From Church Street



- 1113 Craven Street (Eave @ 30')
 - From Craven Street



- From Church Street



- 1109 Craven Street (Eave @ 26')



- 1103 Craven Street (Eave @ 25')
 - From Craven Street



- From Newcastle Street



- 1009 Craven Street (Eave @ 31')
 - From Newcastle Street

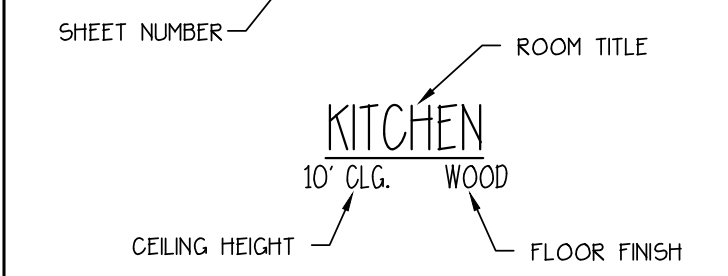
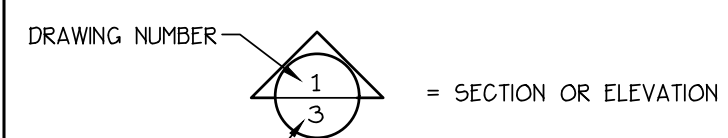


- From Craven Street

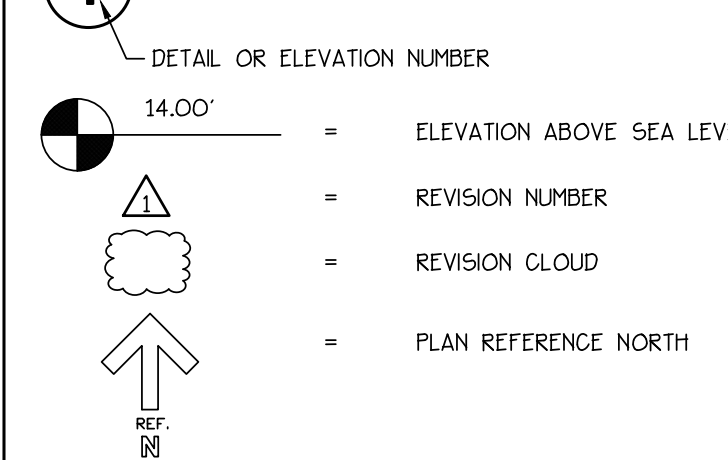


SYMBOLS + KEYS

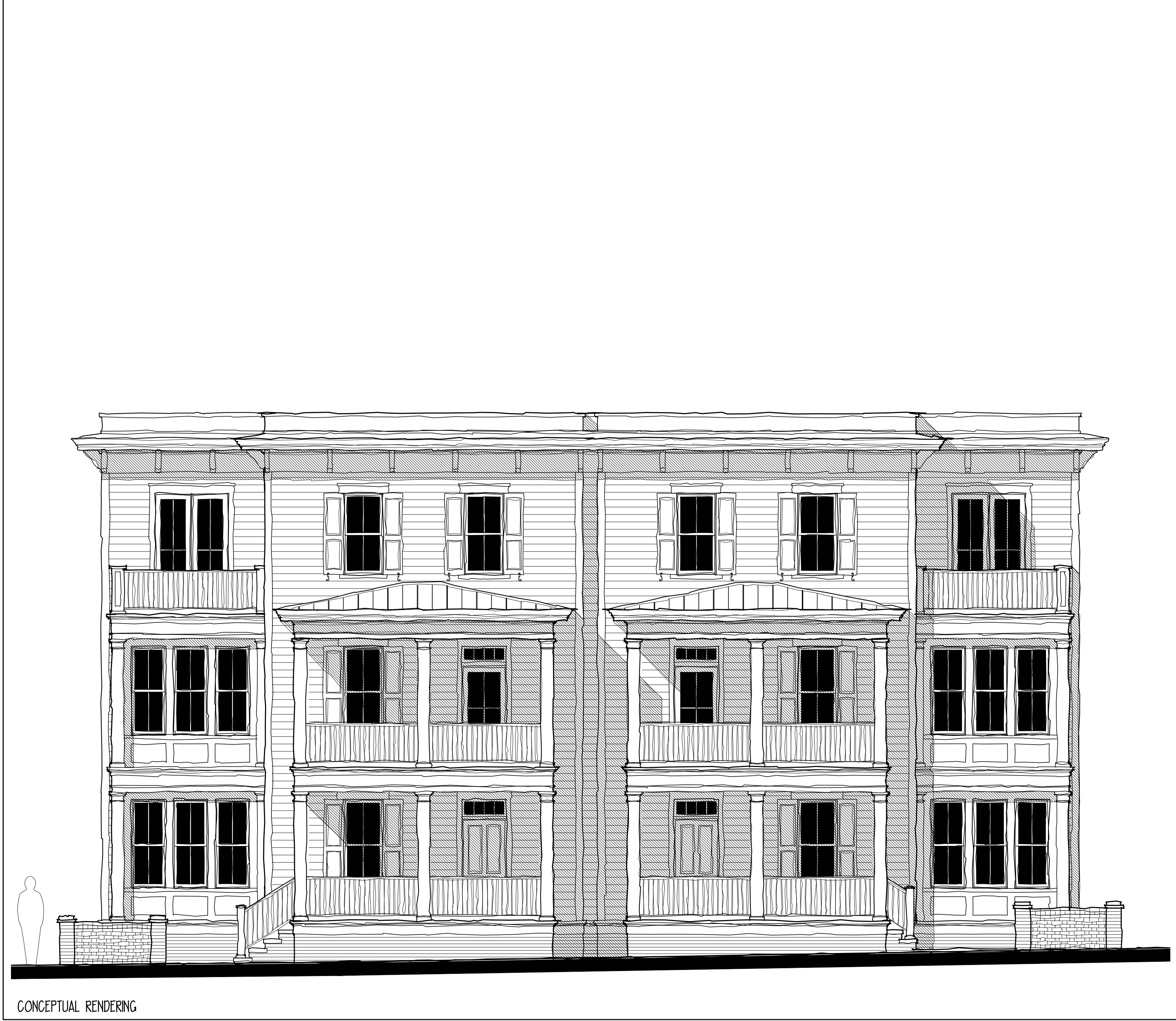
DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH



1 DRAWING TITLE



⊖	SINGLE POLE SWITCH
⊖	THREE WAY SWITCH
⊖	FOUR WAY SWITCH
⊖	DIMMER SWITCH
⊖	SPEED CONTROL
⊖	DUPLEX OUTLET
⊖	1/2 HOT OUTLET
⊖	WATER PROOF OUTLET
⊖	GROUND FAULT OUTLET
⊖	QUADRUPLUX OUTLET
⊖	SPECIALTY OUTLET
⊖	FLOOR OUTLET
⊖	TELEPHONE JACK
⊖	THERMOSTAT
⊖	TELEVISION JACK
⊖	VENT
⊖	VENT w/ LIGHT
⊖	SURFACE MOUNTED FIXTURE
⊖	RECESSED FIXTURE
⊖	WALL MOUNTED FIXTURE
⊖	FLOOD LIGHT
⊖	LED FIXTURE
⊖	CEILING FAN
⊖	STRIP LIGHTING
⊖	CEILING BOX
⊖	DOOR CHIME
⊖	ELECTRICAL PANEL
⊖	SMOKE DETECTOR
⊖	CARBON MONOXIDE DETECTOR



DRAWING INDEX

- 0 COVER SHEET
- 5 SITE PLAN
- 52 SITE SECTION/ ADJACENT BUILDING HEIGHTS
- 1 FOUNDATION PLAN
- 2 GROUND FLOOR PLAN
- 3 FIRST FLOOR PLAN
- 4 SECOND FLOOR PLAN
- ROOF PLAN
- 5 ELEVATIONS
- 6 ELEVATIONS
- 7 ELEVATIONS

GENERAL INFO.

AREA CALCULATIONS PER UNIT	BALCONY = 229 S.F.
GROUND FLOOR HEATED = 446 S.F.	ROOFTOP DECK = 1126 S.F.
FIRST FLOOR HEATED = 1197 S.F.	GARAGE = 775 S.F.
SECOND FLOOR HEATED = 1081 S.F.	COVERED PORCH = 257 S.F.
TOTAL HEATED = 2724 S.F.	

1106 CRAVEN STREET
BEAUFORT, SOUTH CAROLINA

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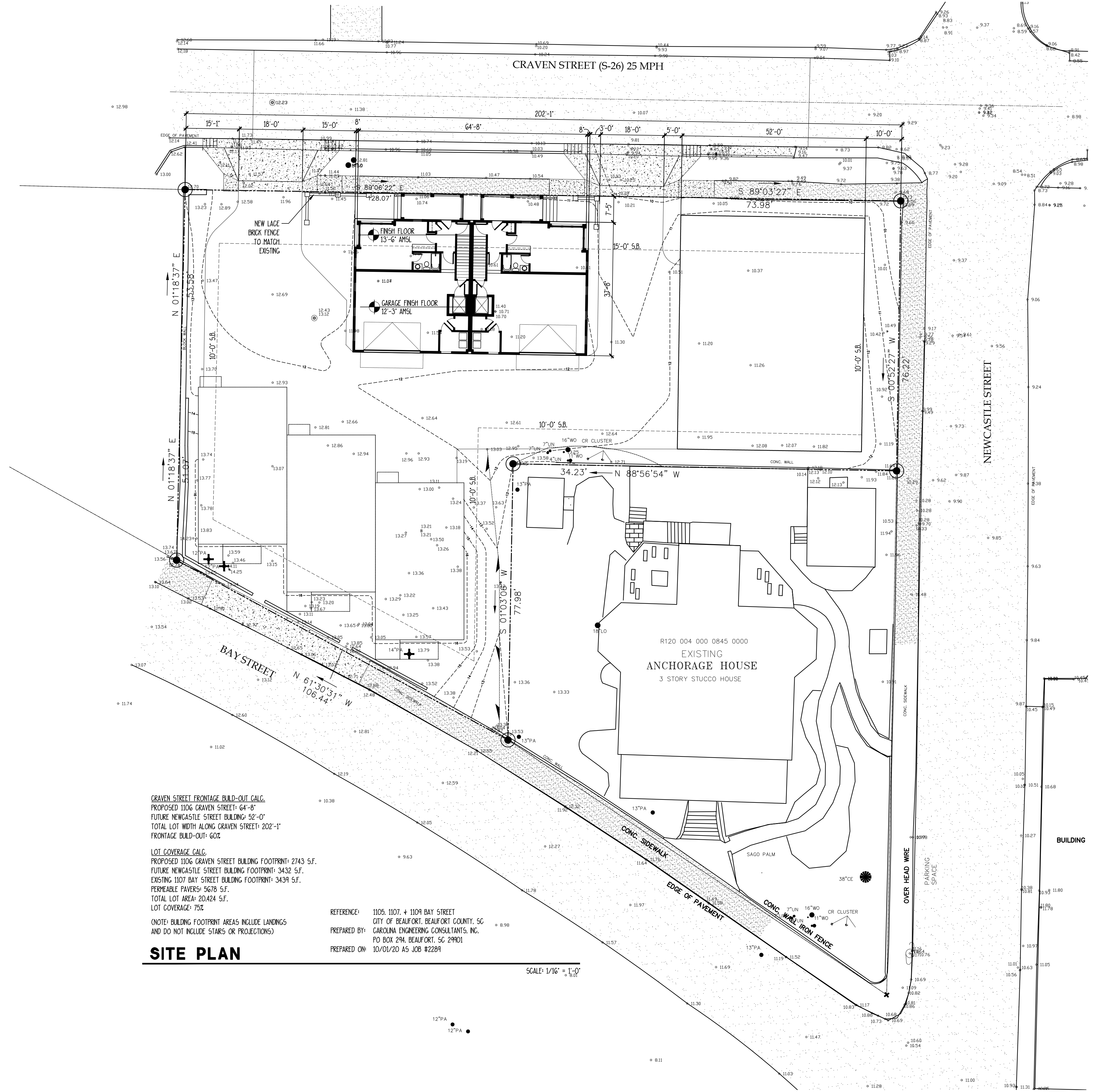
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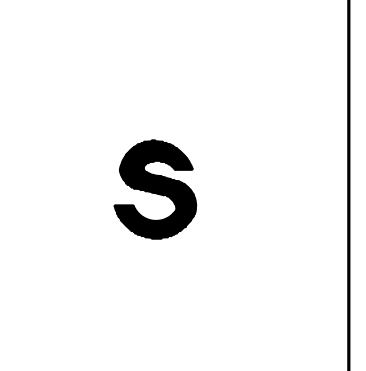
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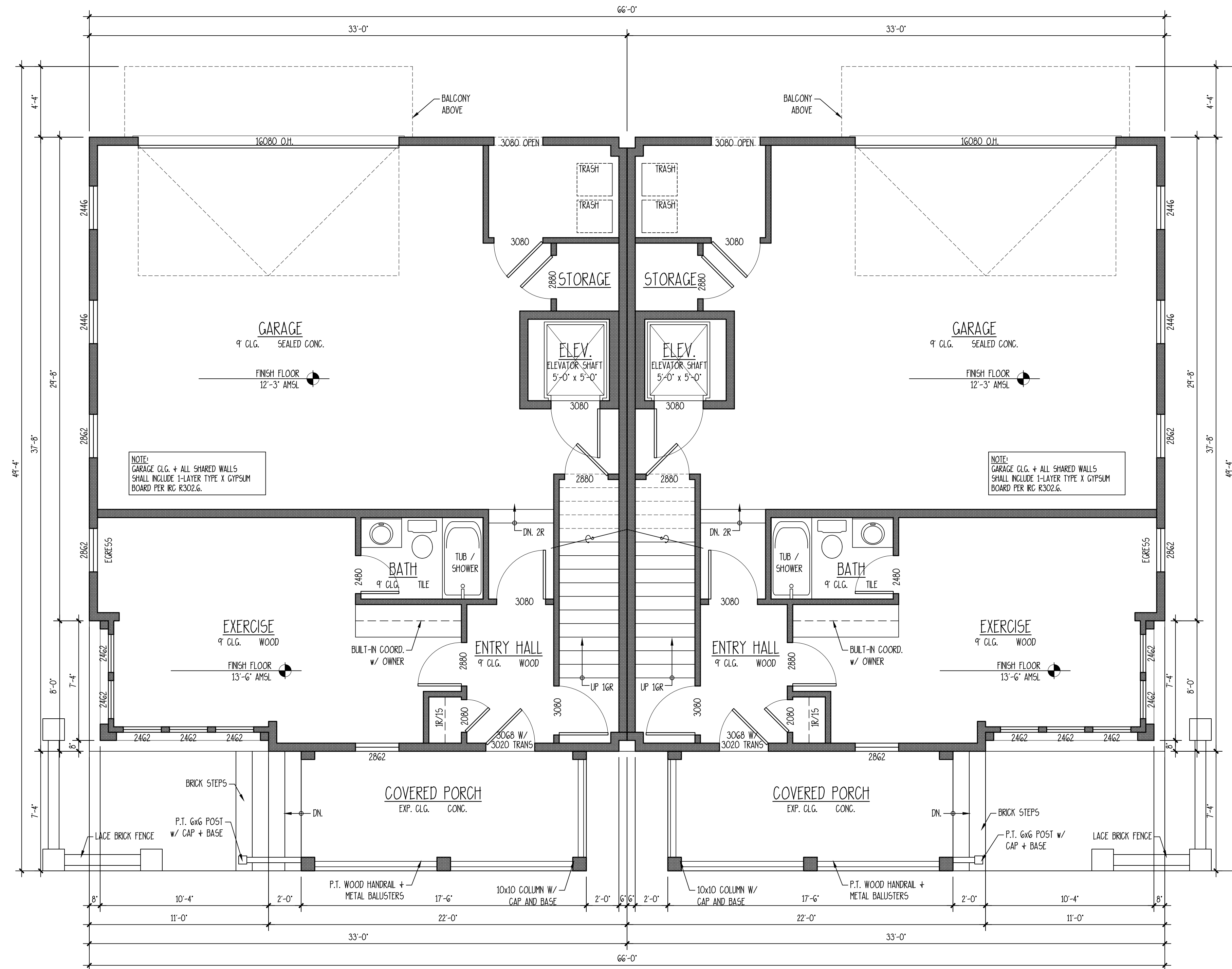
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1 GROUND FLOOR

SCALE: 1/4" = 1'-0"

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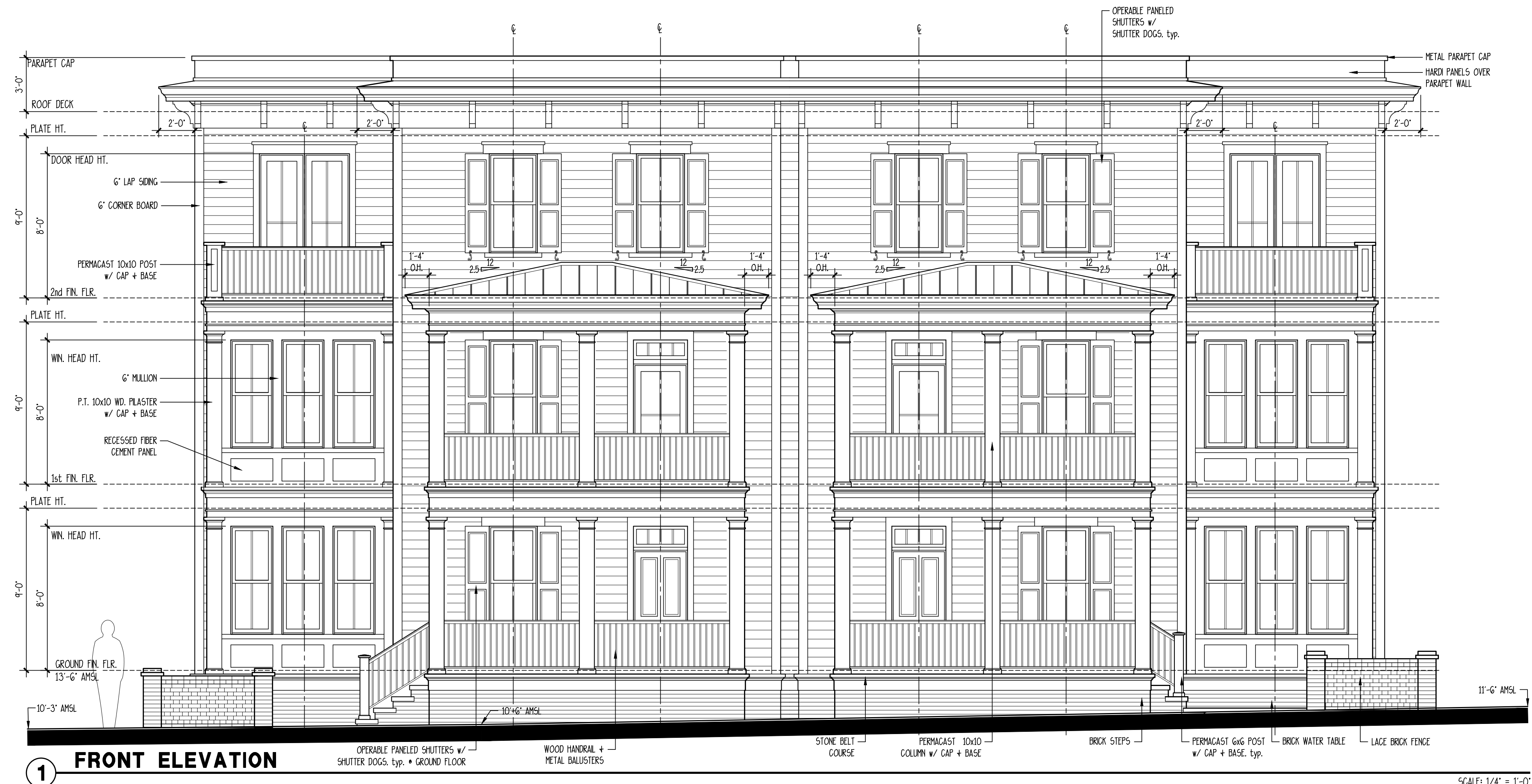
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1 FRONT ELEVATION

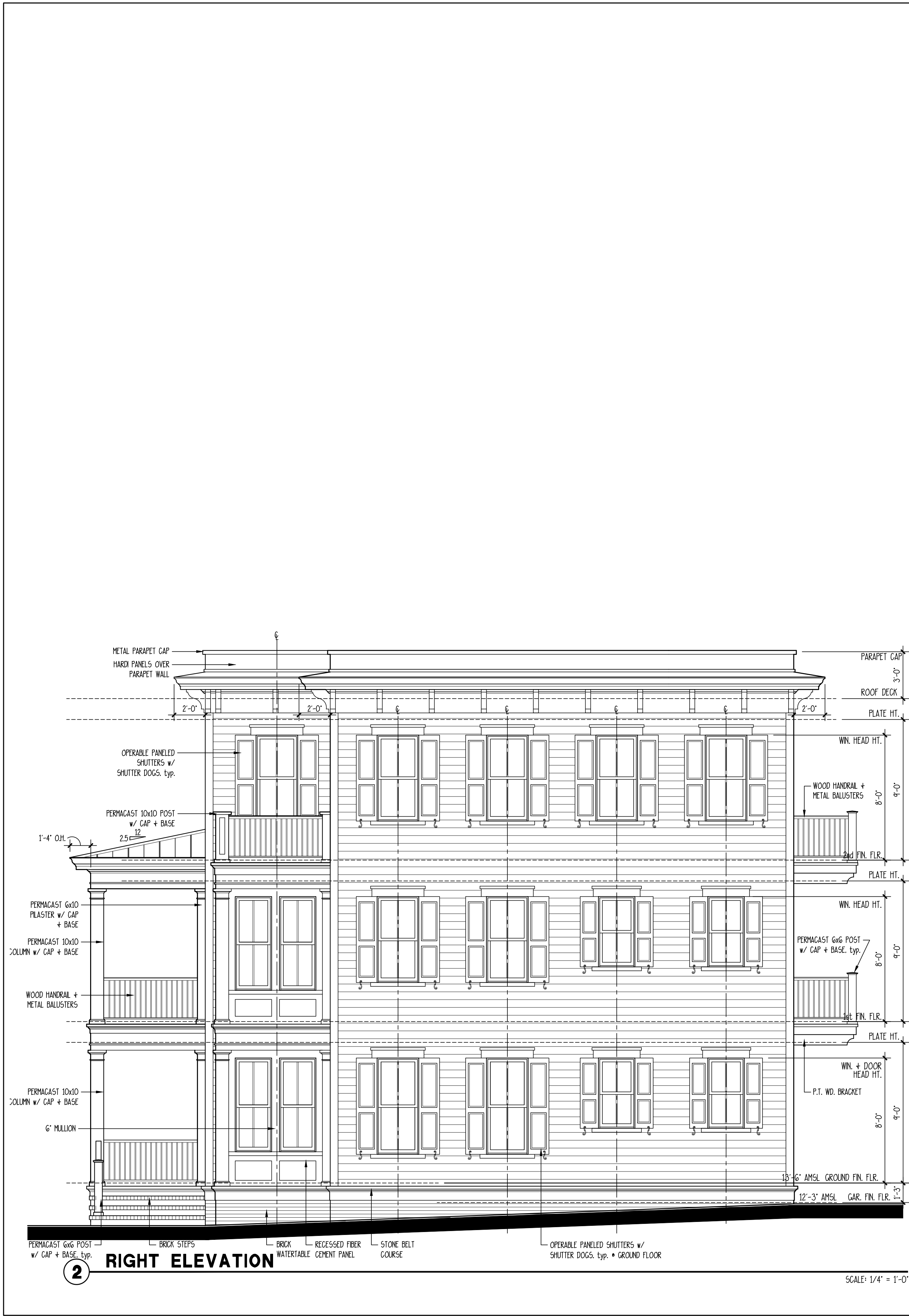
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