

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/89907381124?pwd=bNhF24VXQVHoN1JblAOPqBazg9Bmji.1>

Password: 603334

Meeting ID: 899 0738 1124

Call in Phone #: 1+929 205 6099



City of Beaufort
1911 Boundary Street
Beaufort Municipal Complex
Beaufort, South Carolina 29902
(843) 525-7070

**Historic District Review Board Regular Meeting Agenda
December 10, 2025**

Statement of Media Notification

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media was duly notified of the time, date, place and agenda of this meeting."

Regular Meeting - Council Chambers, 2nd Floor - 2:00 PM

Please note, this meeting will be broadcast via zoom and live-streamed on YouTube. You can view the meeting at the City's page; City Beaufort SC

I. Call to Order

II. Minutes

A. November 12, 2025 Meeting Minutes

III. Applications

A. 811 Congress Street, PIN R120 004 000 0104 0000, New Construction.

Applicant: Larry Holman, Owner

The applicant is requesting final approval for new construction of a duplex and detached carriage house.

IV. Election of Board members for the Historic Task Force Committee

V. Board Meeting Schedule for 2026

VI. Discussion on setting date for proposed HDRB/HBF Training (Jan/Feb 2026)

VII. Adjournment



City of Beaufort
Department Request for Historic District Review Board Agenda Item

To: Historic District Review Board **Date:** 12/01/2025
From: Christopher Klement, Community Development Planner III
Item Name: **811 Congress Street, PIN R120 004 000 0104 0000, New Construction.**
Applicant: Larry Holman, Owner

The applicant is requesting final approval for new construction of a duplex and detached carriage house.

Meeting Date: December 10, 2025
Department: Community Development Department

Background Information:

Introduction:

Applicant is requesting final approval for new construction of a duplex & detached carriage house at 811 Congress Street (2nd HDRB Meeting).

Background:

The applicant is requesting final approval for new construction of a duplex and a detached carriage house (garage with in-law's suite above) located at 811 Congress Street. The site is currently vacant after the approved demolition of a 1950s noncontributing 1-story frame dwelling in 2014. The applicant has been to four (4) HTRC Meetings and one (1) HDRB Meeting (Conceptual Approval) before.

Legal Authority:

S.C. Code Ann. § 6-29-310 et seq. Comprehensive Planning Enabling Act

Staff Recommendation:

Staff recommends FINAL APPROVAL in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following additional information to be provided, before attaining a "Certificate of Appropriateness" (CoA) letter.

1. Applicant to submit typical building sections including one through the deck and porches, garage deck, and garage awning area. Applicant to also submit details including typical
-

window head/sill/jamb details, column, decking/trim connections, foundation to siding connections, typical eave conditions, etc.

2. Applicant to submit cutsheets for roofing material, windows, pedestrian doors (including front double door and side single doors), columns and railings (if not wood), gutters and downspouts, decking, and siding. Circle all project-specific selections on cutsheets.
3. Applicant to label all materials on both the main house and the garage.
4. Applicant to note that all siding must have a smooth finish per Section 4.6.3.A.1.b of the Beaufort Code.

Moreover, in accordance with Section 4.6.1.F.2, “Mechanical equipment...shall be hidden or screened from view.”, staff recommends the HVAC units below the deck to be screened by either a more opaque screening system and/or landscaping, or to move the HVAC units to the rear of the building.

Placed on Agenda For:

Action

Attachments:

1. HDRB Agenda Packet_12-10-25_final



MEETING AGENDA

The City of Beaufort HISTORIC DISTRICT REVIEW BOARD

Wednesday, December 10, 2025, 2:00 P.M.

City Hall, Council Chambers, 2nd Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/89907381124?pwd=bNhF24VXQVHoN1JblAOPqBazg9Bmji.1>

Password: **603334**

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Call in Phone #: **+1 929 205 6099**

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Please note, this meeting will be broadcast via zoom and live-streamed on YouTube. You can view the meeting at the City's page; City Beaufort SC

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Review of Minutes:

A. November 12, 2025, Meeting Minutes

III. Applications:

A. 811 Congress Street, PIN R120 004 000 0104 0000, New Construction.

Applicant: Larry Holman, owner

The applicant is requesting final approval for new construction of a duplex and detached carriage house.

IV. Election of Board members for the Historic Task Force Committee

V. Board Meeting Schedule for 2026

VI. Discussion on setting a date for a proposed HDRB/HBF Training Workshop (January/February 2026)

VII. Adjournment



Historic District Review Board Meeting Minutes – November 12, 2025

CALL TO ORDER

0:52

A meeting of the Historic District Review Board was held in-person on Wednesday, November 12, 2025 at 2:00 pm.

ATTENDEES

Members in attendance: Mike Sutton (Chair), Kim Petrella, Grady Woods, and Rita Wilson (who arrived late).

Members absent: Eric Berman, (Vice-Chair)

Staff in attendance: Curt Freese, Community Development Director, Christopher Klement, Community Development Planner III, Nick Navia, Community Development Planner I, and Meadors Architects.

REVIEW OF MINUTES OF OCTOBER 8, 2025

1:10

Motion: Mr. Woods made a motion to approve the October 8, 2025 minutes as submitted. Ms. Petrella seconded the motion. The motion passed unanimously.

All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.

APPLICATIONS

1:39

- A. **723 Bay Street, PIN R120 004 000 0941 0000**, installed exterior air condition without a permit.
Applicant: John Scott Lee, owner

The applicant is requesting approval for post-installation approval for HVAC unit(s) on the side of the contributing 2-story frame commercial building.

Christopher Kelement presented his staff report.

Public Comment:

George O'Kelly, adjacent property owner, stated he owns most of the property to the east of 723 Bay Street going towards Carteret Street. There is already a mega HVAC unit on his side which was part of a previous handshake agreement with the owner, Paul Schwartz, as far as installing that unit on his land on top of signing a service easement agreement with Dick Stewart. If the Board disapproves what is on the Scott Street side, and advises the applicant to put it on his side, since he

is not going to give anyone access to his property anymore, since he's had previous issues.

Lise Sundrla, Historic Beaufort Foundation (HBF) Director, stated this situation is unfortunate but the Preservation Committee felt very strongly that the applicant needs to follow the Codes and the Preservation Manual Guidelines. It's a very prominent visible side of the building.

Public comment closed.

Motion: Mr. Woods made a motion to table the project. Ms. Petrella seconded the motion. The motion passed unanimously.

1203 Prince Street, PIN R120 004 000 0494 0000, new construction

45:45

Applicant: Labi Kryeziu, LK Advantage

The applicant is requesting final approval for a new 2-story duplex + garage/ADU.

Nick Navia presented his staff report.

Public Comment:

Lise Sundrla, Historic Beaufort Foundation (HBF) Director, said the area is mostly 1 and 1.5 story structures. The Preservation Committee is not against the 2-story concept, but if the applicant could minimize it that would be good. Regarding the gable, HBF suggested doing away with the boxed gable and do a short return. Ms. Sundrla rereferred to the photos from the 1960's.

Martha Spears reside at 1201 King Street stated she is concerned with the current Short Term Rentals (STRs) and worried this project will include STRs as well. She is also concerned about the parking associated with STRs. She commented this project is not in The Bluff as stated in the staff report, but in the Northwest Quadrant.

Public comment closed.

Motion: Mr. Woods made a motion to approve the project and agree with staff's recommendations as written in the Staff Report's Findings and Recommendations section. In addition, remove the closed gable and restudy the gable returns; restudy the window placements particularly on the public realm side; and at the next meeting have better graphics and represent again the site conditions, grading, finished floor elevations so we understand what the foundation exposures are and if staff deems appropriate, once we get that then they would need to review just the monolithic slab versus implied piers. If implied piers are needed, it is recommended that the Board would agree with this at the next submittal. Also, applicant needs to restudy the scale of the gable porch to see if there is a better solution that's more appropriate for this home and the context of the neighborhood.

Ms. Petrella seconded the motion. The motion passed unanimously.

1:22

- C. **1705 Duke Street, PIN R120 003 000 0788 0000**, new construction
Applicant: Jeremiah Smith, Allison Ramsey Architects

The applicant is requesting conceptual approval for a new 2-story single-family residence.

Christopher Klement presented his staff report.

Public Comment:

Lise Sundrla, Historic Beaufort Foundation (HBF) Director, stated when the applicant reduced the slope, it emphasized the widows walk more. There are some successful elements in the project that helps minimize the scale of it. She referred to the west elevation and feels it doesn't really work and appears much more massive. The East elevation works more successfully. Overall, HBF supports the project conceptually but sees some areas for tweaking and more minimization of the scale of the structure and does not support the idea of the widows walk.

Public comment closed.

Motion: Ms. Wilson made a motion to approve with staff recommendations and for the applicant to restudy the slope of the roof and to keep it at a 10:12 pitch. Mr. Woods seconded the motion. The motion passed unanimously.

2:05

- D. **1308 Duke Street, PIN R120 004 000 0471 0000**, addition
Applicant: Jeremiah Smith, Allison Ramsey Architects

The applicant is requesting approval of a proposed bathroom addition to existing 1-story house.

Christopher Klement presented his staff report.

Public Comment:

Lise Sundrla, Historic Beaufort Foundation (HBF) Director, stated the addition will be nice and not obtrusive and won't harm the structure.

Public comment closed.

Motion: Mr. Woods made a motion to approve the project per the staff report with the following conditions:

- Staff Report #1 & #2 to be stricken
- Staff Report #3, new windows to match the existing
- Staff Report #4, add stucco finish on the CMU foundation

Ms. Wilson seconded the motion. The motion passed unanimously.

- E. **COA Extension Letter, Munson/Wilmington/Harrington Redevelopment Project**

Curt Freese stated the project Justice Square was approved by the Historic District Review Board

(HDRB) and the Certificate of Appropriateness (COA) is going to expire on November 23, 2025 and the applicant is asking for a one-year extension of the COA. There are no changes proposed.

Public Comment:

Lise Sundrla, Historic Beaufort Foundation (HBF) Director, stated last time she spoke with Mr. Wheeler, he was proposing to reduce the number of units on the section between Harrington and Wilmington which may change the design.

Jeremiah Smith stated it's not final yet, but it's possible due to the SC Housing requirements. The design should not change due to the loss of some units.

Public comment closed.

Motion: Mr. Woods made a motion to approve the one-year extension to the project. Ms. Petrella seconded the motion. The motion passed unanimously.

A. **Historic District Review Board (HDRB) Brochure**

2:19

Curt Freese stated a Historic District Review Board (HDRB) Brochure was created in connection with the Vice-Chairman, Mr. Berman's, request about the process being more visible and how it can be improved. This can be sent out to all the residents in the historic district.

B. **Customer Satisfaction Survey Form**

Curt Freese stated the Customer Satisfaction Survey Form was also an idea of the Vice-Chairman, Mr. Berman. The goal is to bring back the data to the Board. Ms. Wilson suggested on #5 of the survey, it be rephrased (i.e.: how is the process for you?).

ADJOURNMENT

2:36:19

Ms. Wilson made a motion to adjourn seconded by Mr. Woods. The meeting ended at 4:36 pm.

APPLICATIONS

811 CONGRESS STREET

**New construction of a 2-story duplex
with detached carriage house**



**HISTORIC REVIEW APPLICATION
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

PAID
[Handwritten initials]
CR

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 11-6-25 Application #: 29640
Zoning District: 74-HX

- HAS PROJECT ATTENDED HTRC MEETING? (REQUIRED) YES NO
- IS PROJECT A CONTRIBUTING STRUCTURE?
 - OR NON-CONTRIBUTING STRUCTURE:

FOR A LIST OF CONTRIBUTING OR NON-CONTRIBUTING STRUCTURES, PLEASE SEE:
<https://cityofbeaufort.org/350/Beaufort-County-Historic-Sites-Survey>

APPLICABILITY FOR HISTORIC REVIEW BOARD: Major discretionary review board (HDRB) approval shall apply to applications for Certification of Appropriateness per Section 9.10.2 for the following requests (please check all that apply):

- New building(s) in Historic District
- Changes to exterior materials of Contributing Structures
- Additions to Contributing Structures
- Non-similar roof replacement on Contributing Structures (roof with different materials)
- Window replacements on Contributing Structures
- Major changes to a Contributing or Non-contributing Site
- Demolition
- Other changes to exterior of Contributing Structures

SUBMITTAL REQUIREMENTS: All forms and information shall be submitted digitally + 5 hard copies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

APPLICANT, PROPERTY, AND PROJECT INFORMATION:

APPLICANT NAME: Larry Holman

APPLICANT ADDRESS: 3 Petigru Dr

APPLICANT E-MAIL: holmantriplex@gmail.com APPLICANT PHONE NUMBER: 843-252-7188

APPLICANT TITLE: Homeowner Tenant Architect Engineer Developer

Paid



**HISTORIC REVIEW APPLICATION
MAJOR REVIEW (HISTORIC REVIEW BOARD)**

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Application Fee:
see attached schedule

OWNER (IF OTHER THAN THE APPLICANT):

OWNER ADDRESS:

PROPERTY ADDRESS:

811 Congress St.

PROPERTY IDENTIFICATION NUMBER (TAX MAP & PARCEL NUMBER):

PROVIDE A BRIEF PROJECT NARRATIVE: (Attach any necessary documentation, spec sheets, pictures, paint swatches, etc.):

B

CERTIFICATION OF CORRECTNESS: I/we certify that the information in this application is correct.

APPLICANT'S SIGNATURE:

Larry Holman

DATE:

11/3/25

OWNER'S SIGNATURE:

Larry Holman

DATE:

11/3/25

(The owner's signature is required if the applicant is not the owner.)

SCHEDULE:

The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. Staff will schedule HRB meeting after HTRC and review of application submittal for completeness and compliance with the Beaufort Preservation Manual and the City of Beaufort Development Code.

CONTACT INFORMATION:

City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



Zoning Classification

CobData

- HISTORIC DISTRICT-Preservation Heighborhood
- HISTORIC DISTRICT-Conservation Neighborhood
- Bladen Street Redevelopment District
- Boundary Street Redevelopment District
- Retail Overlay (Church & Green Street)
- Retail Overlay

Zoning Districts

- LEGACY PUD (LPUD)
- T1
- T3-S
- T3-N
- T4-HN
- T4-N
- T4-NA
- T5-DC
- T5-UC
- T5-UC / RMX
- RMX
- IC
- MH
- LI
- MR



40ft





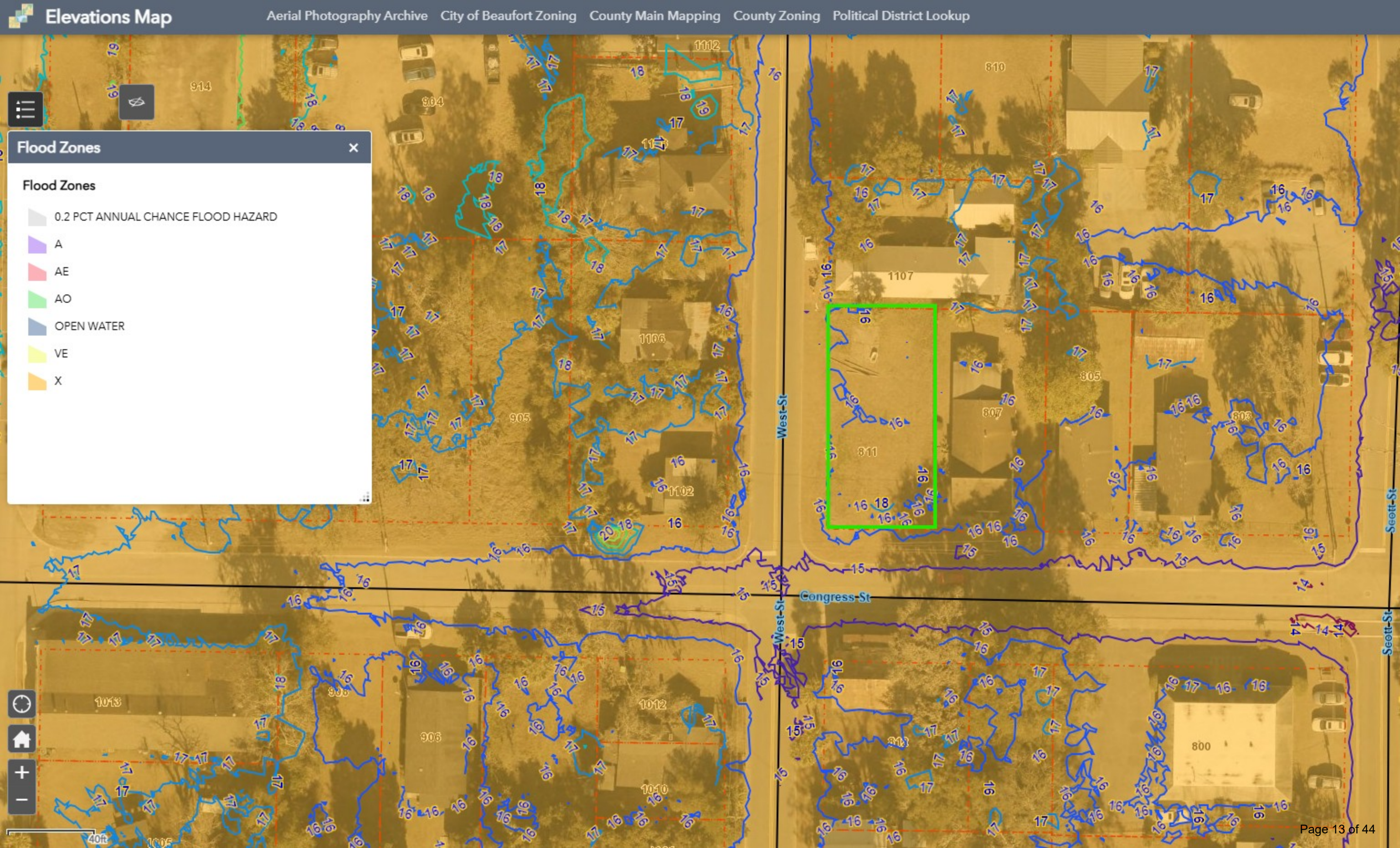
Flood Zones

Flood Zones

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- X



40ft



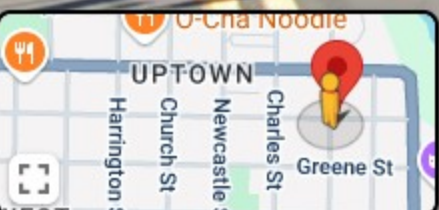
1012 West St 📍 ⋮
 Beaufort, South Carolina
 🌐 Google Street View
 Apr 2022 [See more dates](#)



1098 West St
 Beaufort, South Carolina

Google Street View

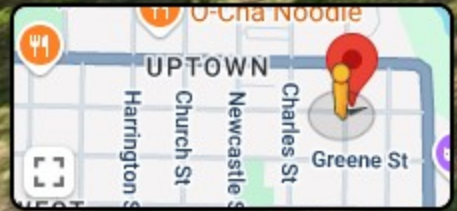
Apr 2022 [See more dates](#)



901 Congress St
 Beaufort, South Carolina

Google Street View

Apr 2022 [See more dates](#)



CODE ANALYSIS: 2021 IRC & ASCE 07-16

OCCUPANCY GROUP: R (RESIDENTIAL)

WIND LOAD: 145 MPH (3 SECOND GUST)

ROOF LOADS: 20 PSF LIVE LOAD
10 PSF DEAD LOAD

FLOOR LOADS: RESIDENTIAL LIVING AREAS:
40 PSF LIVE LOAD
10 PSF DEAD LOAD

RESIDENTIAL SLEEPING AREAS:
30 PSF LIVE LOAD
10 PSF DEAD LOAD

ALL WINDOWS AND EXTERIOR DOORS SHALL
HAVE A DP RATING OF 55 OR AS OTHERWISE
PERMITTED BY BUILDING OFFICIAL.

SQUARE FOOTAGE:

Heated & Cooled:

FIRST FLOOR: 1,411 SQ. FT.

SECOND FLOOR: 653 SQ. FT.

SECOND FLOOR APARTMENT: 686 SQ. FT.

TOTAL HEATED & COOLED: 2,750 SQ. FT.

Non-Heated & Cooled:

FIRST FLOOR FRONT PORCH: 252 SQ. FT.

FIRST FLOOR SIDE PORCH: 160 SQ. FT.

SECOND FLOOR DECK PORCH: 73 SQ. FT.

SECOND FLOOR FRONT PORCH: 252 SQ. FT.

SECOND FLOOR SIDE PORCH: 160 SQ. FT.

TOTAL NON-HEATED & COOLED: 897 SQ. FT.

TOTAL SQUARE FOOTAGE: 3,647 SQ. FT.

Holman Residence Main House

811 Congress Street, Beaufort, SC 29902



SHEET INDEX:

C1: COVER PAGE

SITE: SITE PLAN

A1: FIRST FLOOR PLAN

A2: SECOND FLOOR PLAN

A3: ROOF PLAN

A4: ELEVATIONS

A5: ELEVATIONS

E1: FIRST FLOOR ELECTRICAL PLAN

E2: SECOND FLOOR ELECTRICAL PLAN



FRAYSSE LYLE, OWNER, LEED AP
Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
Mailing Address: P.O. Box 6602 • Beaufort, SC 29903
843.575.0299 • cpdrd@outlook.com
www.coastalplainsresidentialdesign.com

REVISION SET:

04.23.2025: DESIGN REVIEW SET 1

05.05.2025: REVISED DESIGN REVIEW SET 1

05.16.2025: DESIGN REVIEW SET 2

07.16.2025: DESIGN REVIEW SET 3

09.09.2025: BUILDING PERMIT SET

09.22.2025: HRB REVISION SET 1

Holman Residence
811 Congress Street
Beaufort, SC 29902

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SHEET TITLE:

Cover Sheet

PREVIOUSLY DESIGNED BY
SUSAN S. GLASNER,
PROFESSIONAL RESIDENTIAL
DESIGNER, LLC

DATE:
DRAWN:

C1

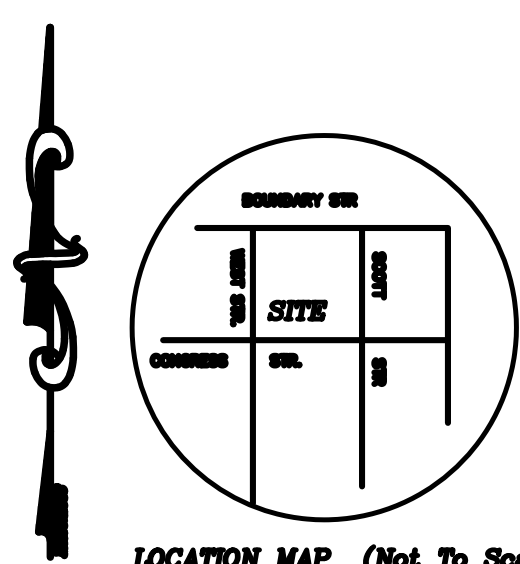


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REVISION SET:

- 04.23.2025: DESIGN REVIEW SET 1
- 05.05.2025: REVISED DESIGN REVIEW SET 1
- 05.16.2025: DESIGN REVIEW SET 2
- 07.16.2025: DESIGN REVIEW SET 3
- 09.09.2025: BUILDING PERMIT SET
- 09.22.2025: HRB REVISION SET 1

SITE PLAN FOR CONCEPTUAL DESIGN PURPOSES ONLY - SEE SURVEY FOR BUILDING PLACEMENT



LEGEND

- 1/2" = OLD BURN PILE FOUND
- 1/4" = OLD CONCRETE REMOVED FOUND
- 1/8" = OLD BRICK 1/2" x 1/4" B&B
- 1/16" = OLD BRICK TOP 1/2" x 1/4" B&B
- 1/32" = OLD BRICK 1/2" x 1/4" B&B FOUND
- 1/64" = FOUND PILE
- 1/128" = CONCRETE FOUND LINE
- 1/256" = CALCULATED POINT
- 1/512" = MARK TO BE REMOVED

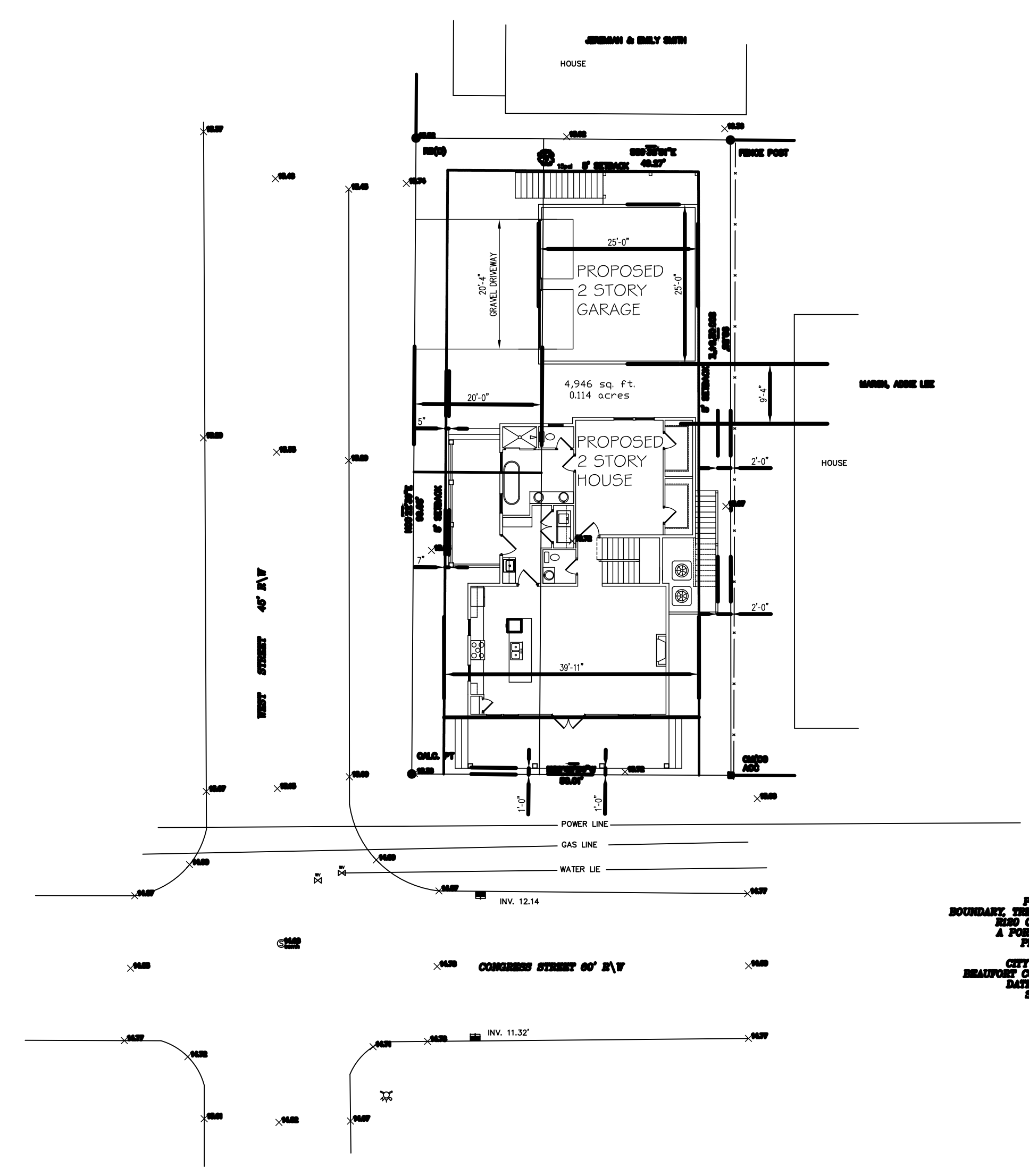
GENERAL NOTES:

- 1) PERIMETER CORNER OF PROPERTY SHOWN HEREIN: REAL MARK
- 2) TOTAL CORNER SHOWN AND SHOWN HEREIN: AS SHOWN
- 3) CORNER ESTABLISHED BY RECTANGULAR COORDINATES
- 4) IT IS EXPRESSLY UNDERSTOOD THAT CONSTRUCTION OF THIS PLAN IS SUBJECT TO THE EXISTENCE OF ANY AND ALL EASEMENTS, RIGHTS OF WAY, AND OTHER INTERESTS IN THE PROPERTY SHOWN HEREIN.
- 5) THE BOUNDARY SHOWN HEREIN ARE MARKED AND AS SUCH SHOWN IN THE SURVEY.
- 6) THE SURVEY IS LOCATED IN FLOOD ZONE "X" (X) FOR FEMA MAP PANEL 15002-0100-0 DATED: MARCH 22, 2012

REFERENCE PLATS & DEEDS

- 1) SEE 0000/0000

CODE	COMMON NAME	BOTANICAL NAME
L01	LOBLOLLY PINE	PINUS TAEDA
L02	LONGLEAF PINE	PINUS PALAUSTRIS
L03	SLASH PINE	PINUS ELIOTTI
L04	SOFT PINE	TAXODIUM SPICATA
L05	SHORTLEAF PINE	SCOPULOPUS ALEMURICUS
L06	WHITE OAK	QUERCUS ALBA
L07	LIVE OAK	QUERCUS VIRENDA
L08	SOUTHERN RED OAK	QUERCUS FALCATA
L09	NORTHERN RED OAK	QUERCUS RUBRA
L10	WHITE OAK	QUERCUS PRINCEPS
L11	LAUREL OAK	QUERCUS LAURENSIS
L12	SOUTHERN WHITE OAK	QUERCUS SPICATA
L13	LONGLEAF PINE	QUERCUS BICOLOR
L14	SHORTLEAF PINE	QUERCUS BRANIFFI
L15	SLASH PINE	QUERCUS LAURENSIS
L16	SOFT PINE	QUERCUS LAURENSIS
L17	SHORTLEAF PINE	QUERCUS BRANIFFI
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L35	SHORTLEAF PINE	QUERCUS BRANIFFI
L36	SLASH PINE	QUERCUS LAURENSIS
L37	SOFT PINE	QUERCUS LAURENSIS
L38	SHORTLEAF PINE	QUERCUS BRANIFFI
L39	SLASH PINE	QUERCUS LAURENSIS
L40	SOFT PINE	QUERCUS LAURENSIS
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L73	SOFT PINE	QUERCUS LAURENSIS
L74	SHORTLEAF PINE	QUERCUS BRANIFFI
L75	SLASH PINE	QUERCUS LAURENSIS
L76	SOFT PINE	QUERCUS LAURENSIS
L77	SHORTLEAF PINE	QUERCUS BRANIFFI
L78	SLASH PINE	QUERCUS LAURENSIS
L79	SOFT PINE	QUERCUS LAURENSIS
L80	SHORTLEAF PINE	QUERCUS BRANIFFI
L81	SLASH PINE	QUERCUS LAURENSIS
L82	SOFT PINE	QUERCUS LAURENSIS
L83	SHORTLEAF PINE	QUERCUS BRANIFFI
L84	SLASH PINE	QUERCUS LAURENSIS
L85	SOFT PINE	QUERCUS LAURENSIS
L86	SHORTLEAF PINE	QUERCUS BRANIFFI
L87	SLASH PINE	QUERCUS LAURENSIS
L88	SOFT PINE	QUERCUS LAURENSIS
L89	SHORTLEAF PINE	QUERCUS BRANIFFI
L90	SLASH PINE	QUERCUS LAURENSIS
L91	SOFT PINE	QUERCUS LAURENSIS
L92	SHORTLEAF PINE	QUERCUS BRANIFFI
L93	SLASH PINE	QUERCUS LAURENSIS
L94	SOFT PINE	QUERCUS LAURENSIS
L95	SHORTLEAF PINE	QUERCUS BRANIFFI
L96	SLASH PINE	QUERCUS LAURENSIS
L97	SOFT PINE	QUERCUS LAURENSIS
L98	SHORTLEAF PINE	QUERCUS BRANIFFI
L99	SLASH PINE	QUERCUS LAURENSIS
L100	SOFT PINE	QUERCUS LAURENSIS



SITE PLAN
 SCALE 1/16" = 1'-0"

TOTAL LOT SQ. FT.: 4,946
IMPERVIOUS ROOFED GARAGE SQ. FT.: 729
IMPERVIOUS ROOFED MAIN HOUSE SQ. FT.: 2,030
TOTAL IMPERVIOUS ROOFED SQ. FT.: 2,759
PERCENTAGE OF LOT IMPERVIOUS: 55.78%
PERCENTAGE OF LOT PERVIOUS: 44.22%

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SHEET TITLE:
 Site Plan

DATE:
 DRAWN:
SITE



FRAYSSE LYLE, OWNER, LEED AP
 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
 Mailing Address: P.O. Box 6602 • Beaufort, SC 29903
 843.575.0299 • cpdr@cpoutlook.com
 www.coastalplainsresidentialdesign.com

REVISION SET:

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- 09.22.2025: HRB REVISION SET 1

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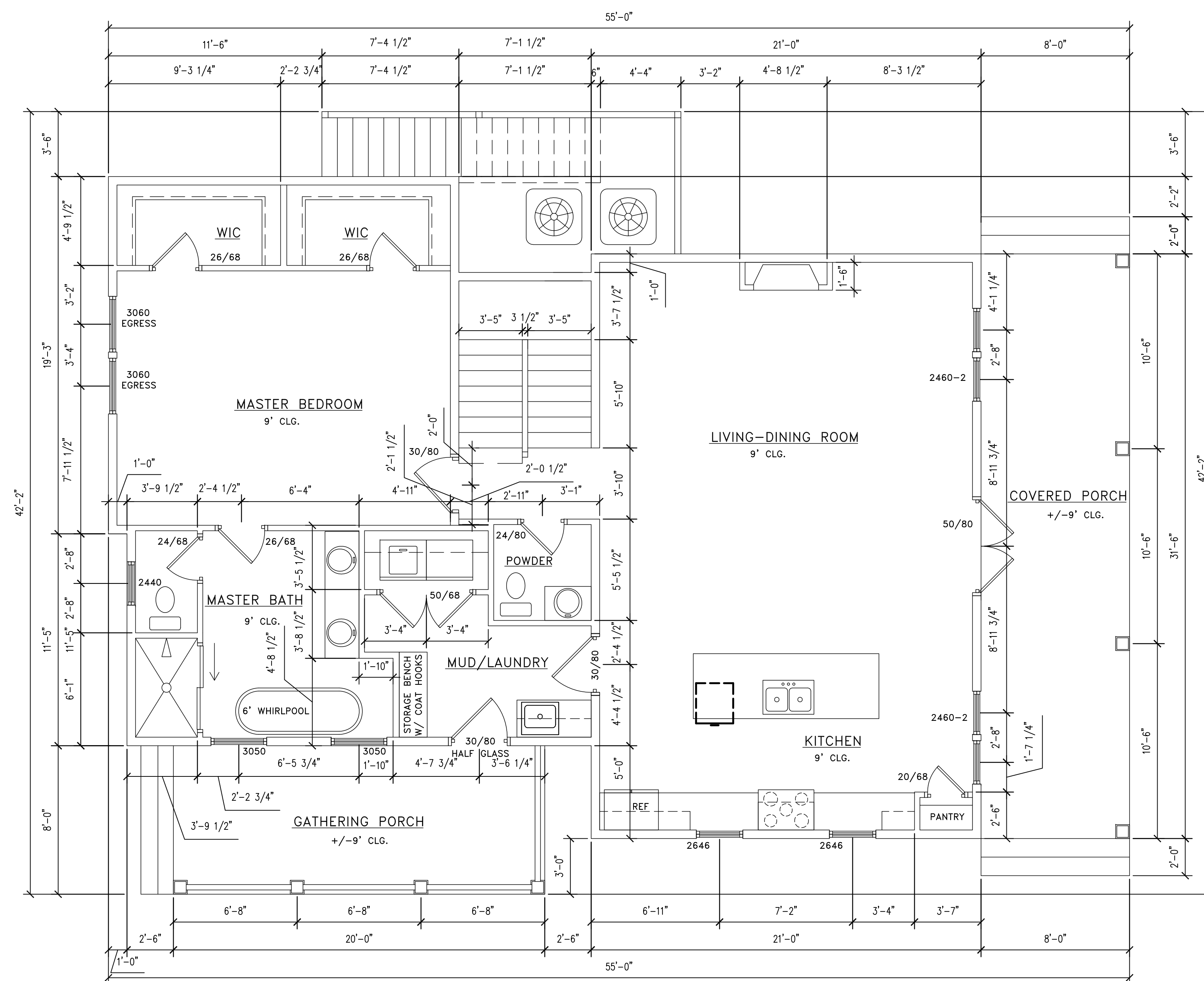
SHEET TITLE:

**Main House
 First Floor Plan**

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DATE:
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A1



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"



FRAYSSE LYLE, OWNER, LEED AP
 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
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 843.575.0299 • cpdrld@outlook.com
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SHEET TITLE:
 Main House
 Second Floor Plan

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DATE:
 DRAWN:

A2



SECOND FLOOR PLAN

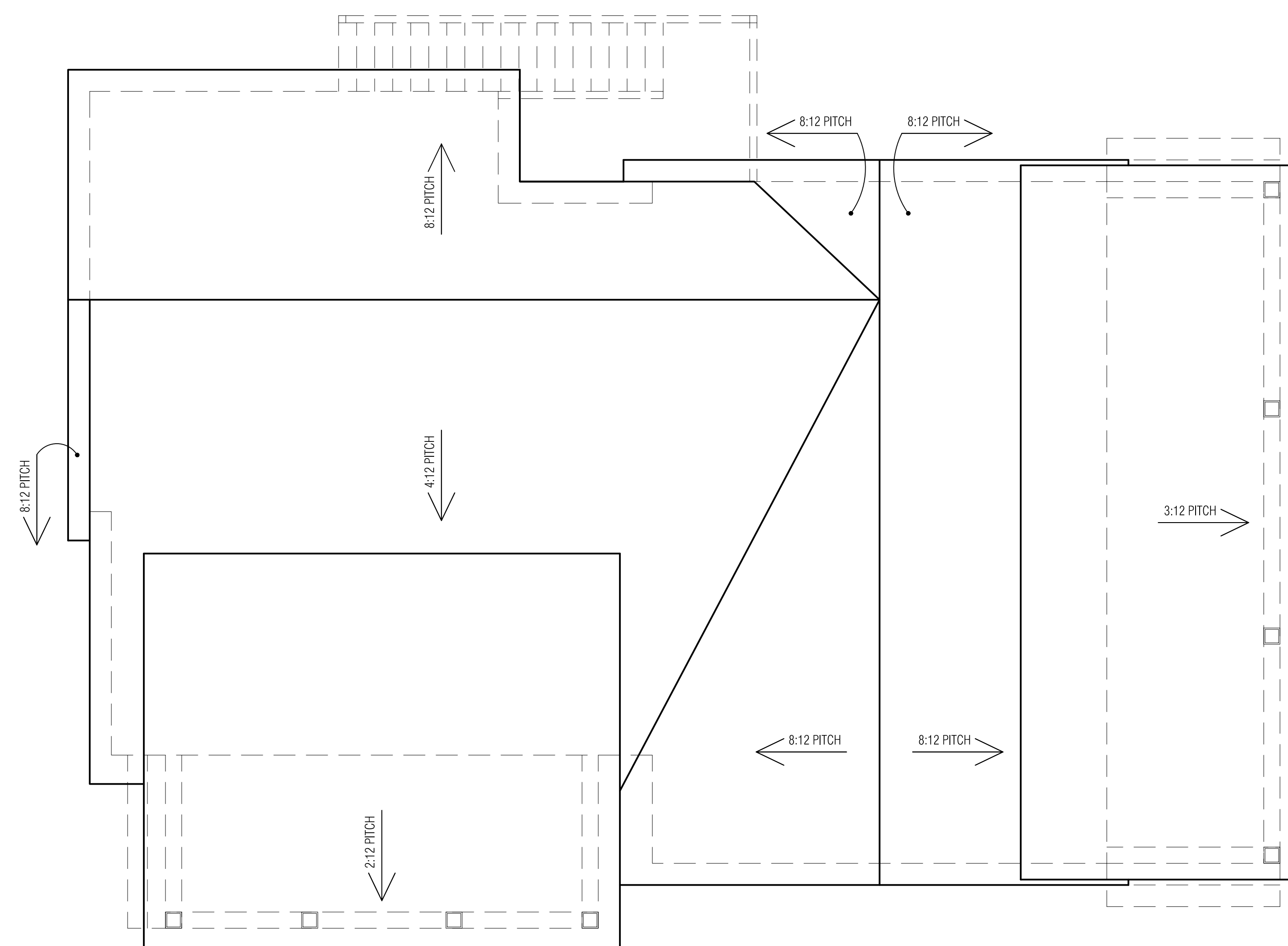
SCALE 1/4" = 1'-0"



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ROOF PLAN

SCALE 1/4" = 1'-0"

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SHEET TITLE:

Main House
 Roof Plan

DATE:
 DRAWN:

A3



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 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
 Mailing Address: P.O. Box 6602 • Beaufort, SC 29903
 843.575.0299 • cpdrd@outlook.com
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SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



EAST ELEVATION
 SCALE 1/4" = 1'-0"

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SHEET TITLE:
Main House
Elevations

DATE:
 DRAWN:

A4



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 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
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NORTH ELEVATION
 SCALE 1/4" = 1'-0"



WEST ELEVATION
 SCALE 1/4" = 1'-0"

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SHEET TITLE:
Main House Elevations

DATE:
 DRAWN:

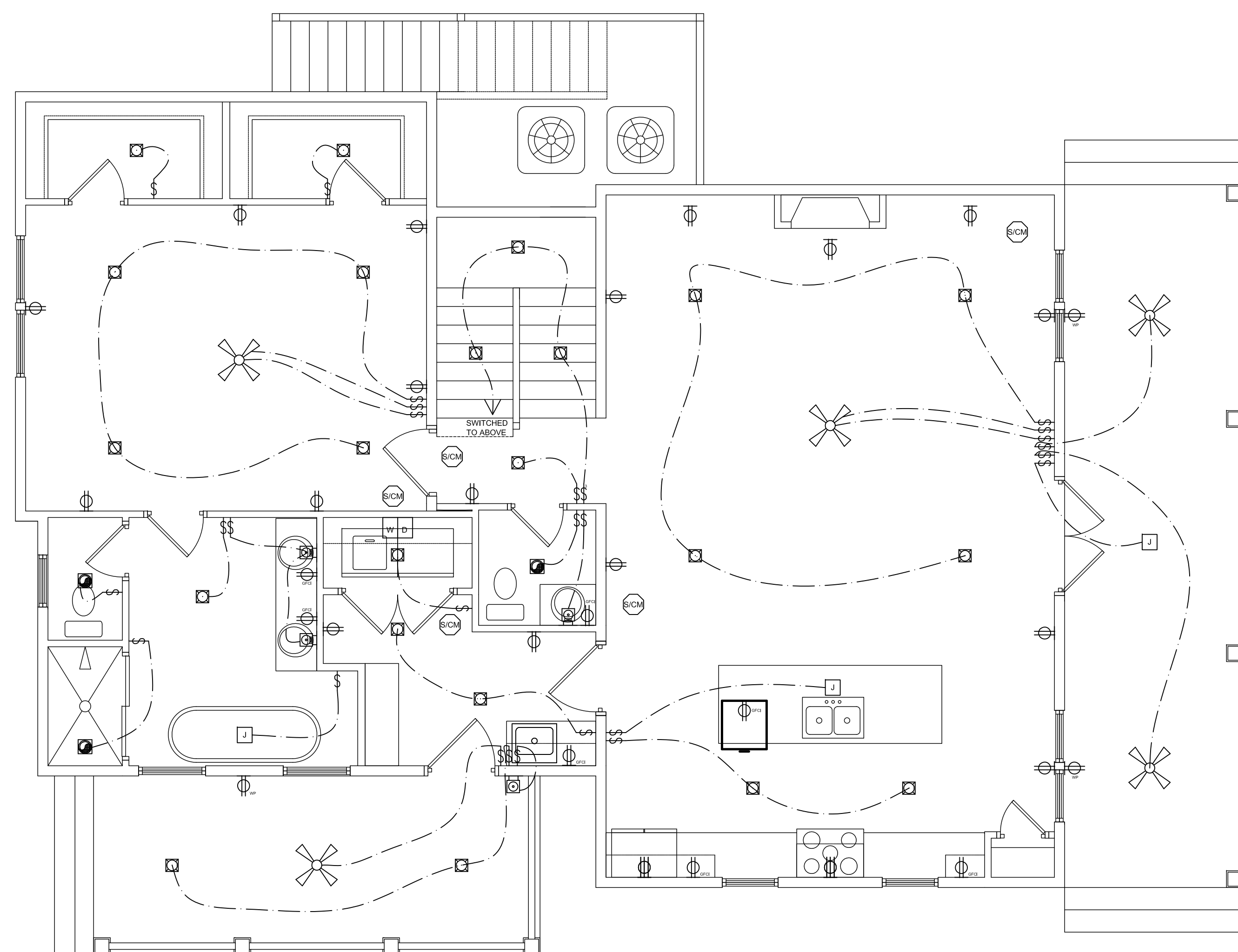
A5



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 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
 Mailing Address: P.O. Box 6602 • Beaufort, SC 29903
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ID	DESCRIPTION
⊕	FLUSH MOUNT LIGHT
⊕	BATHROOM LIGHT/FAN
⊕	OUTLET
⊕ _{WP}	WEATHER PROOF OUTLET
⊕ _{GFCI}	GFCI OUTLET
⊕ _{3P}	3-PRONG OUTLET
⊕ _{GL}	GAS LANTERN
⊕ _{FL}	EXTERIOR FLOOD LIGHT
⊕	SWITCH
⊕	THREE-WAY SWITCH

ID	DESCRIPTION
⊕	CEILING FAN WITH LIGHTS
⊕	WALL MOUNTED SCONCE
⊕	BREAKER BOX
⊕	RECESSED LIGHT
⊕	J-BOX
⊕	FLOOD BOX LIGHT
⊕	WASHER/DRYER HOOK UP
⊕	GARAGE OPENER
⊕	SMOKE/CARBON MONOXIDE DETECTOR

FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

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SHEET TITLE:
**Main House First
 Floor Electrical Plan**

DATE:
 DRAWN:

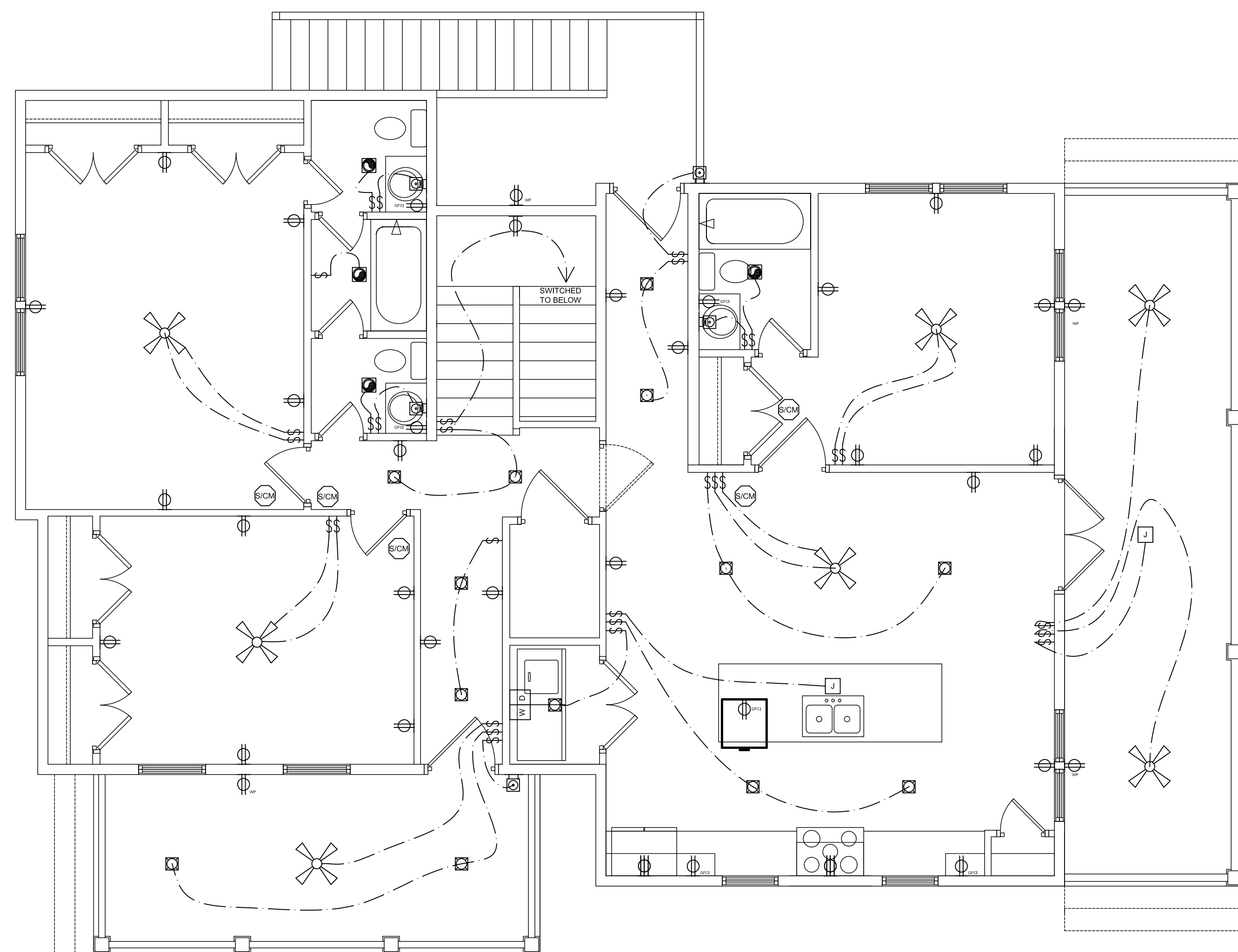
E1



FRAYSSE LYLE, OWNER, LEED AP
 Office Address: 9A Rue Du Bois Road • Lady's Island, SC 29907
 Mailing Address: P.O. Box 6602 • Beaufort, SC 29903
 843.575.0299 • cpdrllc@outlook.com
 www.coastalplainsresidentialdesign.com

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ELECTRICAL LEGEND

ID	DESCRIPTION
⊕	FLUSH MOUNT LIGHT
⊕	BATHROOM LIGHT/FAN
⊕	OUTLET
⊕	WEATHER PROOF OUTLET
⊕	GFCI OUTLET
⊕	3-PRONG OUTLET
⊕	CABLE TV CONNECTION
⊕	EXTERIOR FLOOD LIGHT
⊕	SWITCH
⊕	THREE-WAY SWITCH

ELECTRICAL LEGEND

ID	DESCRIPTION
⊕	CEILING FAN WITH LIGHTS
⊕	WALL MOUNTED SCONCE
⊕	BREAKER BOX
⊕	RECESSED LIGHT
⊕	J-BOX
⊕	FLOOD BOX LIGHT
⊕	WASHER/DRYER HOOK UP
⊕	GARAGE OPENER
⊕	SMOKE DETECTOR

SECOND FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

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SUSAN S. GLASNER,
PROFESSIONAL RESIDENTIAL
DESIGNER, LLC

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811 Congress Street
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SHEET TITLE:
Main House Second
Floor Electrical Plan

DATE:
 DRAWN:

E2

GENERAL CONSTRUCTION NOTES

THESE PLANS ARE NOT INTENDED TO REFLECT A REQUIRED MINIMUM FLOOR ELEVATION TO CONFORM TO FEMA FLOOD MAP REGULATIONS AND OR LOCAL FLOODING CONDITIONS. THE SCOPE OF SERVICES FOR THESE DRAWINGS DOES NOT INCLUDE ESTABLISHING A MINIMUM FLOOR ELEVATION.
ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.
CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.
CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY OWNER'S CONTRACT. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE DESIGN FACILITATOR.
GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED. EXCEPTIONS ARE STATED IN THE OUTLINE SPECIFICATIONS.
GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK, NOTIFY DESIGN FACILITATOR/ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2018 CODE, OSHA, ACI, AISC AND AISC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.
GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, SHOP DRAWINGS, OR OTHER REQUIREMENTS FROM SUBCONTRACTORS FOR COORDINATION OF CHASES AND MATERIALS BELOW EARTH OR SLABS.
SUBGRADE PREPARATION NOTES
PRIOR TO CONSTRUCTION OR ANY LAND DISTURBANCE, CONTRACTOR SHALL OBTAIN ALL REQUIRED DRAINAGE PERMITS WITH LOCAL AUTHORITIES. CONTRACTOR SHALL FILE THE "NOTICE OF INTENT" (NOI) WITH SCDHEC-OCRM PRIOR TO ANY LAND DISTURBANCE. PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS OR OTHER IMPROVEMENTS.
UPON COMPLETION AND STABILIZATION OF THE SITE, IN ACCORDANCE WITH ISSUED PERMITS AND SCDHEC-OCRM REGULATIONS, CONTRACTOR SHALL FILE THE APPROPRIATE "NOTICE OF TERMINATION" (NOT) WITH SCDHEC-OCRM.
SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.
IF NECESSARY, THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE.
DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY DESIGN FACILITATOR/ARCHITECT/ENGINEER.
ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACK FILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-698.
THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.
ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 98% IN ACCORDANCE WITH ASTM D-698 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.
ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 98% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-698).
IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY. REFER TO GEOTECH REPORT FOR AREAS OF REQUIRED SOIL REMOVAL.
ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS.
ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 12 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-698.
THE DESIGN SOIL BEARING PRESSURE IS 2,000 PSF
CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES
WORK SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 318.
MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.
CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.
WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.
CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS. TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.
ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.
GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, GRADE 60.
UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.
ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.
PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.
WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.
ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.
HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.
REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE RE-BARS AS REQUIRED TO SUIT: STEEL REINFORCING BARS SHALL BE ASTM A615, GRADE 60.
REBAR LAP SPLICES SHALL HAVE A MINIMUM OF 36" DEVELOPMENT LENGTH FOR #5 BARS.
VERTICAL REINFORCING BARS SHALL BE SECURED IN MORTAR WITHIN THE CELLS OF THE CMU AND SHALL BE LAPPED A MINIMUM OF 36" TO VERTICAL DOWELS IN THE FOOTING. THE ANCHOR BOLTS IN THE TOP ROW OF THE CMU STEM WALL SHALL HOOK UNDER THE HORIZONTAL REINFORCING WITHIN THE TOP ROW OF THE STEM WALL.

CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90, TYPE 1. INSTALL IN ACCORDANCE WITH ACI-ASCE 530 AND 530.1.
MORTAR FOR CMUS SHALL BE ASTM C270, TYPE M OR S.
ALL CMU WALLS SHALL BE HORIZONTALLY REINFORCED WITH GALVANIZED, 1 GAUGE, "DUR-A-WAL" DA 3100 (TRUSS TYPE), EMBEDDED IN THE JOINT MORTAR, EVERY OTHER COURSE.

SPECIAL CONDITIONS

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWINGS.
FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS. AS REQUIRED FOR WORK SEQUENCE. IF NOT SHOWN ON PLANS CONTRACTOR TO PROVIDE SHOP DRAWINGS.

WALLS, FLOORS AND ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED, CUT OR BORED. REFER TO IBC 2018 CODE AND AISC MANUAL FOR ALLOWABLE CUTTING NOTCHING AND BORING OF FRAMING MEMBERS. TRUSSES SHALL NOT BE CUT, NOTCHED OR BORED WITHOUT ARCHITECT'S APPROVAL.
THE ENGINEERING OF FRAMING MEMBERS IS BASED ON # 2 SPRUCE OR #2 S.P.F. FB = 1200 PSI, E = 3,200,000 PSI. SUBSTITUTION MUST BE APPROVED BY THE STRUCTURAL ENGINEER/ARCHITECT BEFORE USING.
ALL CONNECTION STEEL ANGLES, PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A-153.
ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY AND/OR THE GROUND OR EXPOSED TO THE OUTSIDE SUCH AS DECKS AND/OR STAIRS AND THEIR SUPPORTS OR OTHERWISE NOTED ON THE DRAWINGS WILL BE PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2.
ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108. ALL PANELS PERMANENTLY EXPOSED TO THE WEATHER WILL BE CLASSIFIED "EXTERIOR". APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.
WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS 3 3/4" AROUND EDGES AND 6 1/4" IN FIELD 15/32" ROOF SHEATHING WILL BE NAILED WITH 8d. SAME SPACING AS ABOVE.
CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION.
ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING'S ARE REMOVED.
TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.
WHERE DISCREPANCIES EXIST BETWEEN NOTES, DETAILS, AND OTHER DRAWINGS USE THE STRONGEST OR MOST SEVERE EXAMPLE SHOWN.
PERMITS
R305.1 REQUIRED.
ANY OWNER OR OWNER'S AUTHORIZED AGENT WHO INTENDS TO CONSTRUCT, ENLARGE, ALTER, REPAIR, MOVE, DEMOLISH OR CHANGE THE OCCUPANCY OF A BUILDING OR STRUCTURE, OR TO ERECT, INSTALL, ENLARGE, ALTER, REPAIR, REMOVE, CONVERT OR REPLACE ANY ELECTRICAL, GAS, MECHANICAL OR PLUMBING SYSTEM, THE INSTALLATION OF WHICH IS REGULATED BY THIS CODE, OR TO CAUSE ANY SUCH WORK TO BE PERFORMED, SHALL FIRST MAKE APPLICATION TO THE BUILDING OFFICIAL AND OBTAIN THE REQUIRED PERMIT.
R306.1 SUBMITTAL DOCUMENTS.
SUBMITTAL DOCUMENTS CONSISTING OF CONSTRUCTION DOCUMENTS, AND OTHER DATA SHALL BE SUBMITTED IN TWO OR MORE SETS WITH EACH APPLICATION FOR A PERMIT. THE CONSTRUCTION DOCUMENTS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL WHERE REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE PROJECT IS TO BE CONSTRUCTED. WHERE SPECIAL CONDITIONS EXIST, THE BUILDING OFFICIAL IS AUTHORIZED TO REQUIRE ADDITIONAL CONSTRUCTION DOCUMENTS TO BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.
EXCEPTION: THE BUILDING OFFICIAL IS AUTHORIZED TO WAIVE THE SUBMISSION OF CONSTRUCTION DOCUMENTS AND OTHER DATA NOT REQUIRED TO BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL IF IT IS FOUND THAT THE NATURE OF THE WORK APPLIED FOR IS SUCH THAT REVIEWING OF CONSTRUCTION DOCUMENTS IS NOT NECESSARY TO OBTAIN COMPLIANCE WITH THIS CODE.

R301.2 WIND DESIGN CRITERIA.

BUILDINGS AND PORTIONS THEREOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WIND PROVISIONS OF THIS CODE USING THE ULTIMATE DESIGN WIND SPEED IN TABLE R301.2(1) AS DETERMINED FROM FIGURE R301.2(4)A. THE STRUCTURAL PROVISIONS OF THIS CODE FOR WIND LOADS ARE NOT PERMITTED WHERE WIND DESIGN IS REQUIRED AS SPECIFIED IN SECTION R301.2.1.2. WHERE DIFFERENT CONSTRUCTION METHODS AND STRUCTURAL MATERIALS ARE USED FOR VARIOUS PORTIONS OF A BUILDING, THE APPLICABLE REQUIREMENTS OF THIS SECTION FOR EACH PORTION SHALL APPLY. WHERE NOT OTHERWISE SPECIFIED, THE WIND LOADS LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) SHALL BE USED TO DETERMINE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, CURTAIN WALLS, ROOF COVERINGS, EXTERIOR WINDOWS, SKYLIGHTS, GARAGE DOORS AND EXTERIOR DOORS. ASPHALT SHINGLES SHALL BE DESIGNED FOR WIND SPEEDS IN ACCORDANCE WITH SECTION R405.2.4. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE APPLICABLE UPLIFT FORCES IN SECTION R802.11.1 FROM THE ROOF ASSEMBLY TO THE FOUNDATION. R301.2.1.3 WIND LIMITATIONS AND WIND DESIGN REQUIRED.

THE WIND PROVISIONS OF THIS CODE SHALL NOT APPLY TO THE DESIGN OF BUILDINGS WHERE WIND DESIGN IS REQUIRED IN ACCORDANCE WITH FIGURE R301.2(4)B.

EXCEPTIONS:

- 1. FOR CONCRETE CONSTRUCTION, THE WIND PROVISIONS OF THIS CODE SHALL APPLY IN ACCORDANCE WITH THE LIMITATIONS OF SECTIONS R404 AND R408.
2. FOR STRUCTURAL INSULATED PANELS, THE WIND PROVISIONS OF THIS CODE SHALL APPLY IN ACCORDANCE WITH THE LIMITATIONS OF SECTION R610.
3. FOR COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION, THE WIND PROVISIONS OF THIS CODE SHALL APPLY IN ACCORDANCE WITH THE LIMITATIONS OF SECTIONS R505, R603 AND R804.
IN REGIONS WHERE WIND DESIGN IS REQUIRED IN ACCORDANCE WITH FIGURE R301.2(4)B, THE DESIGN OF BUILDINGS FOR WIND LOADS SHALL BE IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING METHODS:
1. AF&PA WOOD FRAME CONSTRUCTION MANUAL (WFCM).
2. ICC STANDARD RESIDENTIAL CONSTRUCTION IN HIGH-WIND REGIONS (ICC 600).
3. ASCE MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7)
4. AISI STANDARD FOR COLD-FORMED STEEL FRAMING-PRESCRIPTIVE METHOD FOR ONE AND TWO-FAMILY DWELLINGS (AISI S230)
5. INTERNATIONAL BUILDING CODE.
THE ELEMENTS OF DESIGN NOT ADDRESSED BY THE METHODS IN ITEMS 1 THROUGH 5 SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. WHERE ASCE 7 OR THE INTERNATIONAL BUILDING CODE IS USED FOR THE DESIGN OF THE BUILDING, THE WIND SPEED MAP AND EXPOSURE CATEGORY REQUIREMENTS AS SPECIFIED IN ASCE 7 AND THE INTERNATIONAL BUILDING CODE SHALL BE USED.

WIND LOAD CALCULATIONS FOR CARPORT

WIND LOAD CALCULATIONS FOR HOUSE

Applicable Codes and References

2021 International Residential Code with S.C. Modifications
ASCE 7-21 Minimum Design Loads for Buildings and Other Structures
2016 Wood Frame Construction Manual

WIND REFERENCE MAP: ATC WINDSPEED

Building Measurements

Table with 2 columns: Measurement and Value. Includes Building width (25'), Building depth (25'), Building height (27'2"), Mean roof elevation (23'2"), Roof Slope (7:1).

Structural Design Criteria

Table with 2 columns: Design Criteria and Value. Includes Roof Dead Load (20 PSF), Roof Live Load (20 PSF), Floor Dead Load (15 PSF), Floor Live Load (40 PSF), Decks and Porches Dead Load (15 PSF), Decks and Porches Live Load (40 PSF), Stairs (40 PSF), Roof Snow Load (5 PSF), Soil Pressure Allowable (1500 PSF), Soil Load Safety Factor (2).

Wind

Table with 2 columns: Wind Parameter and Value. Includes Wind Borne Debris Region (Yes), Wind Zone (IRC 2021) (1), Exposure Category (B), Wind Speed - IRC 2021 (140 MPH), Directionality Factor (0.85), Velocity Pressure Coefficient (0.66), Topographic Factor (1.0).

Location: 811 Congress St, Beaufort, South Carolina, 29902. Elevation: 15 ft with respect to North American Vertical Datum of 1988 (NAVD 88). Lat: 32.430852, Long: -80.671532. Standard: ASCE/SEI 7-22. Risk: II, Category: II, Soil Class: Default. Wind: 139 Vmph. Includes buttons for FULL REPORT and SUMMARY.



WIND LOAD CALCULATIONS FOR HOUSE. Includes a table for wind speed and pressure, and a small diagram of a house showing wind direction and exposure.

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STEVE MITCHELL, P.E.
4525 N. 66TH ST. - UNIT 57
SCOTTSDALE, ARIZONA - 85251
bscusa@gmail.com
(843) 441-2177

Table with 2 columns: DATE and CHANGE. Row 1: 11.25.2025, CHANGED GARAGE ELEVATION.

HOLMAN GARAGE
811 CONGRESS STREET
BEAUFORT, S.C.
29902

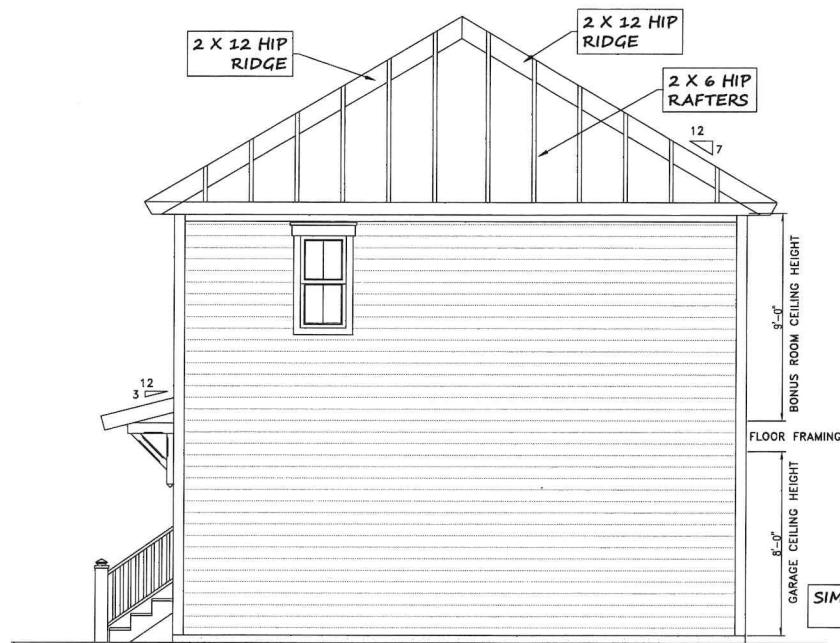
STATE OF SOUTH CAROLINA
ENGINEERING SEAL

THE SIGNATURE BELOW MUST BE ORIGINAL FOR THIS TO BE AN AUTHORIZED ORIGINAL, ISSUED BY THE ENGINEER FOR PERMITTING AND CONSTRUCTION.



JOB NO. 25026
DATE 11/25/2025
SHEET #

S1



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'



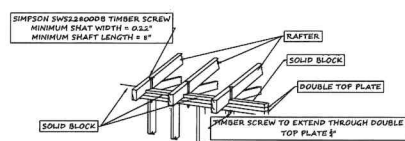
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'



FRONT ELEVATION

SCALE: 1/4" = 1'



SIMPSON H2.5A CLIPS AND BLOCKS DETAIL

SCALE: NOT TO SCALE

FASTENER SPACING (INCHES) FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER

MINIMUM LEDGER SIZE	RAFTER NUMBER	MIN. BOARD MATERIAL AND MINIMUM SIZE	12" x 12"	12" x 10"	12" x 8"	12" x 6"	12" x 4"	12" x 2"
2x	SPWELLSHORE	2x 2x4 LVL	24	18	12	6	6	6
2x	SPWELLSHORE	2x 2x4	24	18	12	6	6	6

PLACEMENT OF SIMPSON SDWS TIMBER SCREWS IN DECK LEDGERS AND BAND JOISTS

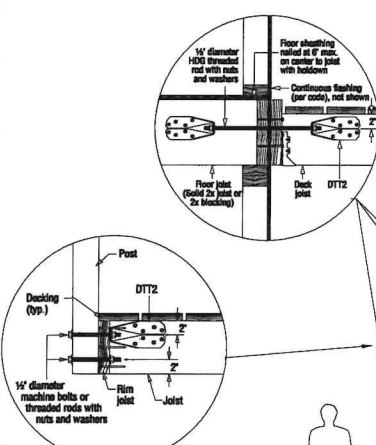
	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN JOISTS	TOP EDGE	BOTTOM EDGE	ENDS	SCREW PLACEMENT
LEDGER	3 1/2" TO 2" INCHES	3 1/2" TO 2" INCHES	6 INCHES	3" MINIMUM AND 6" MAXIMUM BETWEEN JOISTS, SPACED PER TABLE AND OFFSET AND EVENLY STAGGERED	
BAND JOIST	3 1/2" TO 2" INCHES	3 1/2" TO 2" INCHES	6 INCHES		

BAND JOIST FASTENER SPACING REQUIREMENTS

NOT TO SCALE

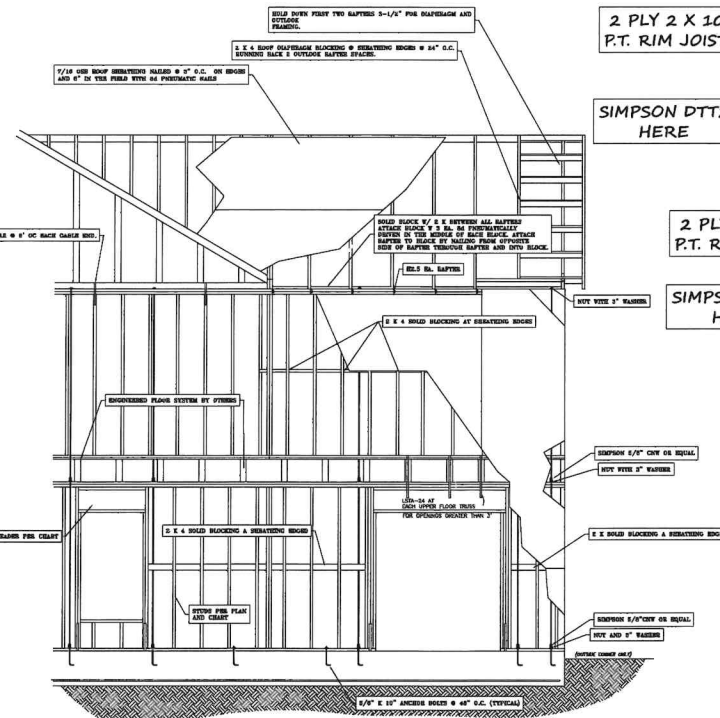
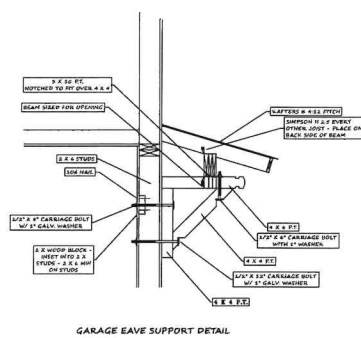
DTT22 Installed as a Lateral Connector for a Deck-to-House Lateral Load Connection. For more information on this connection, and installation instructions, see technical bulletin T-DECKLATCHAD (available at www.strongtie.com)

- Installation:**
- Install Simpson Strong-Tie DTT22 wood screws with a 3/8" hex head driver. SDS covers install best with a low speed high torque drill.
 - A standard cut washer (provided) must be installed between the rail and the DTT22 rail.
 - Ball holes shall be a minimum 1/8" to a maximum 1/4" larger than the ball diameter.



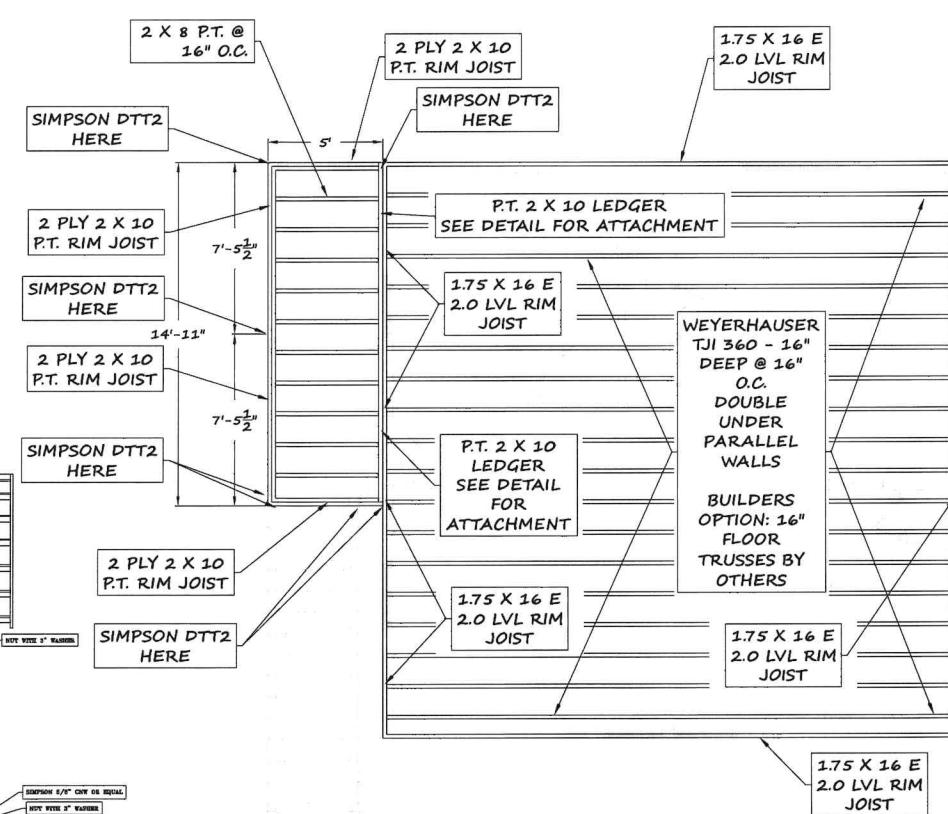
REAR ELEVATION

SCALE: 1/4" = 1'



TYPICAL TWO STORY WALL SECTION

NOT TO SCALE



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'



CARRIAGE BOLT DETAIL FOR BEAM / COLUMN ATTACHMENT

NOT TO SCALE

STEVE MITCHELL, P.E.
4525 N. 66TH ST. - UNIT 57
SCOTTSDALE, ARIZONA - 85251
bscusa@gmail.com
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REVISIONS

DATE	CHANGE
11.25.2025	CHANGED GARAGE ELEVATION

HOLMAN GARAGE
811 CONGRESS STREET
BEAUFORT, S.C.
29902

STATE OF SOUTH CAROLINA
ENGINEERING SEAL
THE SIGNATURE BELOW MUST BE ORIGINAL FOR THIS TO BE AN AUTHORIZED ORIGINAL, ISSUED BY THE ENGINEER FOR PERMITTING AND CONSTRUCTION.
STEVE MITCHELL, P.E.
11/25/2025
JOB NO. 25026
DATE: 11/25/2025
SHEET #

S3



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

DECISION LETTER

September 11, 2025

Larry Holman

Via email: holmantriplex@gmail.com

RE: (APP# 29290)

811 Congress Street – New Construction

Dear Mr. Holman:

On September 10, 2025, the City of Beaufort Historic Review Board (HRB) met to review your application for approval for new construction of a duplex located at 811 Congress Street. The HRB voted to conceptually approve your application with the staff recommendations below.

1. The rear gable, as currently shown, creates an odd connection with the main side-gabled form since it is taller than the side gable, so a small portion of it is visible from the front façade. Staff recommends lowering the rear gable so that it aligns with the top of the main gable.
2. On the east elevation, the main side-gable form lacks a corner adjacent to the door, so the gable does not protrude from the wall as is shown on the west elevation. This is an odd detail and should be resolved. Refer to the east elevation on sheet A4, and the second-floor plan on sheet A2 at the deck.
3. The rear façade (north) appears to be very wide with only one set of ganged windows on each floor. Staff believes more windows may need to be added to this façade based on the current interior configuration, or with slight modifications to the interior configuration. Staff also recommends reducing the width of the front gabled portion on the north façade.
4. Staff recommends spacing the windows on the west elevation in the kitchen farther apart. They appear to crowd-out each other. Staff would be supportive of reducing the width of these windows.
5. There are currently no windows proposed on the east elevation. Staff believes the applicant should add fenestration to break up the blank expanses of wall.
6. Applicant to provide drawings for the garage. Only the west elevation has been shown at this time.
7. Staff recommends adding more fenestration above the garage doors – the set of garage windows appears too small on this wall with large expanses of siding on either side of it.

Larry Homan

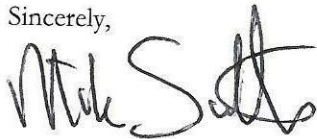
September 11, 2025

Page 2 of 2

8. Staff requests the applicant to provide an accurate site plan that also indicates the proposed lot coverage ratios (area of lot covered by roofed structures as well as impervious surfaces).

If you have any questions, feel free to call the Community Development Department at 843-525-7011.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Sutton". The signature is stylized and cursive.

Mike Sutton, Chairman
Historic District Review Board

cc: file copy



STAFF REPORT: Historic District Review Board (HDRB)

811 CONGRESS STREET

DATE: December 10, 2025

GENERAL INFORMATION

Applicant:	Larry Holman (Owner)
Site Address / Tax PIN:	811 Congress Street; PIN: R120 004 000 0104 0000
Applicant's Request:	Applicant is requesting final approval for new construction of a duplex & detached carriage house at 811 Congress Street. (2 nd HDRB Meeting)
Current Zoning:	T4-HISTORIC NEIGHBORHOOD DISTRICT (T4-HN)
Contributing/Neighborhood	Vacant lot – Old Commons
Flood Zone/Base Flood	Flood Zone: X, Elevation: 16 ft – 18 ft
Existing Trees	No Specimen/Landmark trees are affected by this request.

ZONING DISTRICT INFORMATION

T4-HISTORIC NEIGHBORHOOD DISTRICT (T4-HN)

Lot Width at Setback:	40 ft min
Minimum Lot Size:	4,000 sqft min
Max Lot Coverage:	55% of lot area (This percentage indicates maximum lot coverage by roofs; total impervious coverage may be an additional 10%. Parcels may also be subject to Section 8.3 - Stormwater)
Frontage Build Out	75% max
Front Setback	Average Prevailing Setback on Block
Side Setback	Corner/Alley: 5 ft min Interior: 6 ft min
Rear Setback	15 ft min; from alley: 0 ft.
Building Height:	Primary Structures: 3 stories max Accessory Structures: 2 stories or 30 ft max

SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS

<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T4-HN	1107 West Street (Non-contributing, ca. 1920) – Single-family residential	N/A
South: T4-HN	812 Congress Street (Contributing, ca. 1900) – Decrepit historic duplex	N/A
East: T4-HN	807 Congress Street (Non-contributing, ca. 1930) – Single-family residential	N/A
West: T4-N	1102 West Street (Contributing, ca. 1930) - Single-family residential	N/A

Background: The applicant is requesting final approval for new construction of a duplex and a detached carriage house (garage with in-law’s suite above) located at 811 Congress Street. The site is currently vacant after the

approved (in 2014) demolition of a 1950s noncontributing 1-story frame dwelling. **The applicant has been to four (4) HTRC Meetings and one HRB Meeting (Conceptual Approval) before.**

Project timeline

Jan. 2024	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
				5/1: 1st HTRC Meeting		7/24: 2nd HTRC Meeting					

Jan. 2025	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.
				5/28: 3rd HTRC Meeting			8/6: 4th HTRC Meeting	9/10: 1st HRB Meeting		11/26: 2nd HRB Meeting Submittal	12/10: 2nd HRB Meeting

Summary of the 9/10/2025 HDRB Meeting Comments:

1. *The rear gable, as currently shown, creates an odd connection with the main side-gabled form since it is taller than the side gable, so a small portion of it is visible from the front façade. **Staff recommends lowering the rear gable so that it aligns with the top of the main gable.***
2. *On the east elevation, the main side-gable form lacks a corner adjacent to the door, so the gable does not protrude from the wall as is shown on the west elevation. This is an odd detail and should be resolved. **Refer to the east elevation on sheet A4, and the second-floor plan on sheet A2 at the deck.***

3. *The rear façade (north) appears to be very wide with only one set of ganged windows on each floor. **a. Staff believes more windows may be added to this façade based on the current interior configuration, or with slight modifications to the interior configuration. b. Staff also recommends reducing the width of the front gabled portion on the north façade.***
4. *Staff recommends spacing the windows on the west elevation in the kitchen farther apart. They appear to crowd each other. **Staff would be supportive of reducing the width of these windows.***
5. *There are currently no windows proposed on the east elevation. **Staff believes the applicant should add fenestration to break up the blank expanses of wall.***
6. *Applicant to provide drawings for the garage. **Only the west elevation has been shown at this time.***
7. ***Staff recommends adding more fenestration above the garage doors – the set of ganged windows appears small on this wall with large expanses of siding on either side of it.***
8. ***Staff requests the applicant to provide an accurate site plan that includes the proposed lot coverage.***

Summary of the 8/6/2025 HTRC Meeting Comments:

1. Planning and Zoning:

- Zoned T4-HN

2. Architecture:

- Staff is supportive of the changes to the front façade and believes it is a better representation of the architecture found in the Beaufort historic district.
- Staff is unsure why the gable at the back of the structure is taller than the gable on the front of the structure. Staff recommends lowering the rear gable so that it aligns with the top of the main gable.
- The rear façade (north) appears to be very wide with only one set of ganged windows on each floor. Staff believes more windows may be added to this façade based on the current interior configuration, or with slight modifications to the interior configuration. Staff also recommends reducing the width of the front gabled portion on the north façade.
- Staff has questions about the deck on the east elevation. Staff believes it creates an awkward roof form above it. Is this structure a duplex? The plan is that of a duplex, but there is an interior staircase that appears to communicate between the first and second floors. Without the kitchen upstairs, the plans read as a typical four-bedroom single-family house.
- Staff recommends spacing the windows on the west elevation in the kitchen farther apart. They appear to crowd each other. Staff would be supportive of reducing the width of these windows.
- Staff is supportive of the side porch design on the west elevation.
- There is no garage floor plan, but staff is generally supportive of the design. Staff recommends adding more fenestration above the garage doors – the set of ganged windows appears small on this wall with large expanses of siding on either side of it.
- Provide a site plan that shows the lot coverage. For a T4-HN property, the maximum lot coverage (coverage by roofs) is 55%.

3. Historic Beaufort Foundation (HBF):

- Front (south) façade:
 - Much improved – design is much more in keeping with historic district.
 - Concerned that rear roof height appears taller than front gable.
- East elevation:
 - Was removing the windows intentional?
 - If so, suggest they be added back.
 - Purpose of railing on first level?

-
- Roof height appears taller than front gable. From the design, it is visible from the South elevation.
 - North Elevation:
 - Ganged windows don't match the rest of the house fenestration. Consider separating the windows.
 - West elevation:
 - Much improved!
 - Garage:
 - West elevation is much improved.
 - Roof height appears the same as the main house. Suggest lowering the garage roof. (Also suggest lowering the height of the rear roof of the main house.)

Tree Removal Proposed:

No Specimen/Landmark trees are affected by this request.

Surrounding Area:

Located in the Old Commons neighborhood, the subject lot lies on the south-east corner of the block at Congress and West Street. The surrounding properties are mostly single-family residential in character and were constructed between 1900 and 1930. As for their historical value, they represent a mix of contributing and non-contributing dwellings.

Determination of adequate historic integrity for New Construction, Infill, Additions and Demolition:

As per the Beaufort Preservation Manual (Chapter 5) and the Beaufort Development Code (Section 4.7), the compatibility of new infill construction as well as major renovations within the Beaufort Historic District is determined in consideration with the following principles: **1. Location, 2. Design, 3. Setting, 4. Materials, 5. Workmanship, 6. Feeling and 7. Association.** See detailed staff analysis and recommendations in table below.

811 Congress Street – Analysis of revisions between request for Conceptual vs Final Approval (HDRB)

1. Front (South) elevation: Size and conformity of rear vs. front roof gable



Previous plan set (HRB Submittal #1 – 9/10/25)

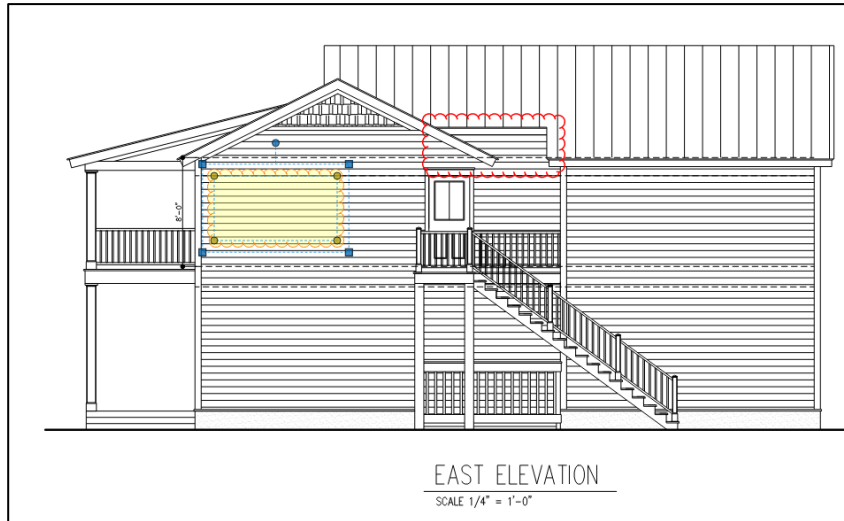
Latest plan set (HRB Submittal #2 – 12/10/25)

Staff analysis based on Decision Letter (HDRB – 9/10/25):

#1: *“The rear gable, as currently shown, creates an odd connection with the main side-gabled form since it is taller than the side gable, so a small portion of it is visible from the front façade.”*

➤ **STAFF RECOMMENDATION #1 from last HDRB MEETING (9/10) is herewith met.**

2. **East elevation: Side roof gable over 2nd story door; 2nd story fenestration**



Previous plan set (HRB Submittal #1 - 9/10/25)



Latest plan set (HRB Submittal #2 - 12/10/25)

Staff analysis based on Decision Letter (HDRB - 9/10/25):

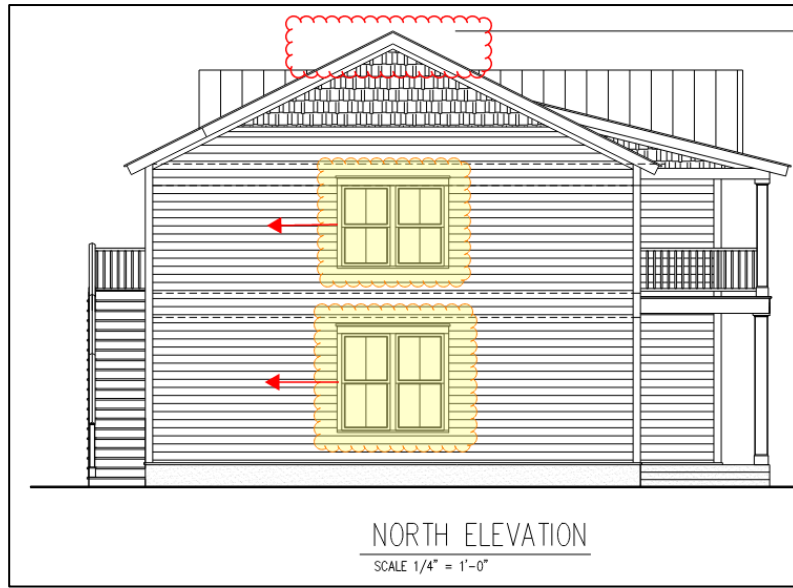
#2: *“On the east elevation, the main side-gable form lacks a corner adjacent to the door, so the gable does not protrude from the wall as is shown on the west elevation. This is an odd detail and should be resolved.”*

- **STAFF RECOMMENDATION #2 has not been implemented – second story landing next to entrance door still is exposed.**

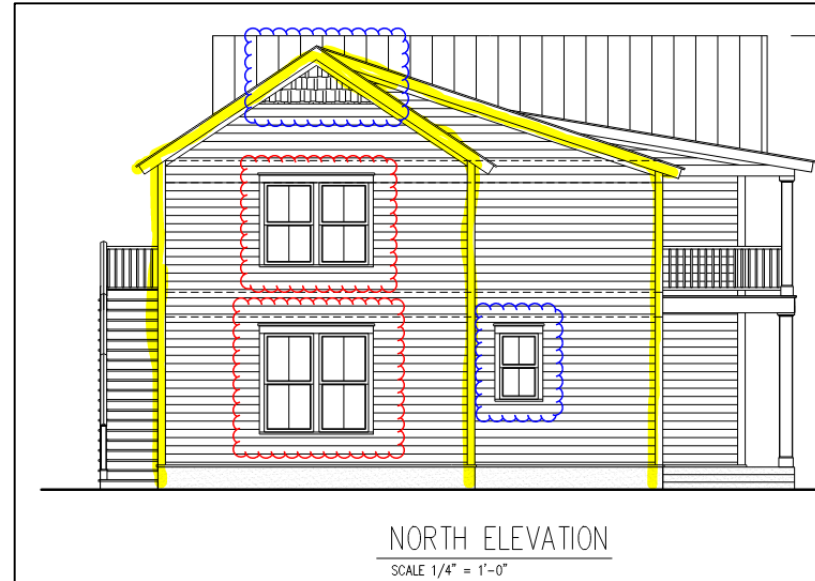
#5: *“There are currently no windows proposed on the east elevation.”*

- **STAFF RECOMMENDATION #5 has been implemented – a set of ganged windows on second floor (bedroom 4) on the east elevation have been added.**

3. Rear (North) elevation - façade width and fenestration:



Previous plan set (HRB Submittal #1 - 9/10/25)



Latest plan set (HRB Submittal #2 - 12/10/25)

Staff analysis based on Decision Letter (HDRB - 9/10/25):

#3: *"The rear façade (north) appears to be very wide with only one set of ganged windows on each floor."*

- **STAFF RECOMMENDATION #3 has been taken into account as the formerly wide elevation has been broken up into two façade sections with their own roofline/gables as well as ganged windows (master bedroom/bedroom 2) moved to the East as well as one small window added on the first floor (master bath).**

4. West elevation - Kitchen windows (1st & 2nd floor):



Previous plan set (HRB Submittal #1 - 9/10/25)



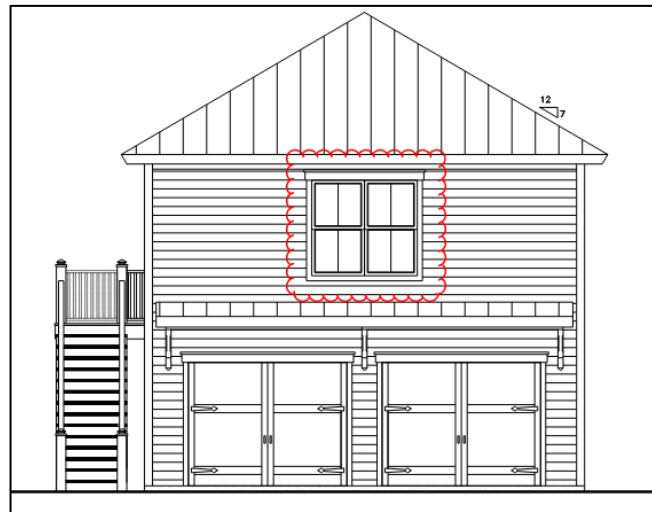
Latest plan set (HRB Submittal #2 - 12/10/25)

Staff analysis based on Decision Letter (HDRB - 9/10/25):

#4: "Staff recommends spacing the windows on the west elevation in the kitchen farther apart. They appear to crowd each other."

- **STAFF RECOMMENDATION #4 has been taken into account as the formerly wider/bigger kitchen windows on both floors have been reduced in size; also, the pitch of the side gable on the front (kitchens) has been raised.**

5. Carriage House (garage with in-law's suite above):



Previous plan set (HRB Submittal #1 - 9/10/25)

Staff analysis based on Decision Letter (HDRB - 9/10/25):

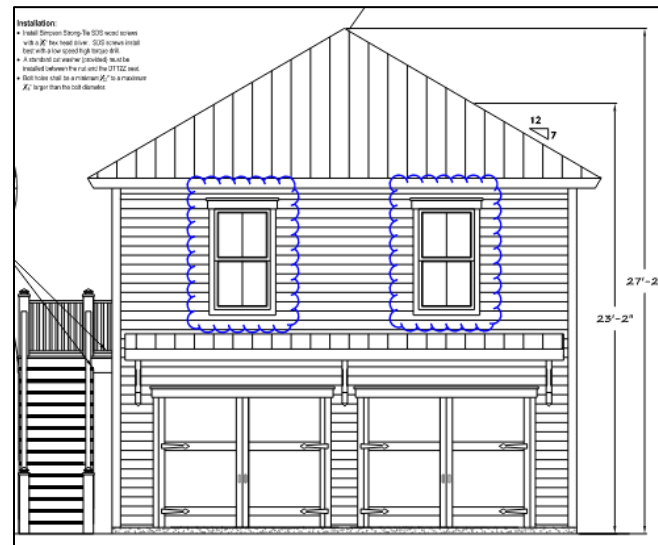
#6: "Applicant to provide drawings for the garage."

➤ **SEE LATEST REVISED PLANS FOR GARAGE / CARRIAGE HOUSE ENCLOSED (BELOW)**

#7: "Staff recommends adding more fenestration above the garage doors – the set of ganged windows appears small on this wall with large expanses of siding on either side of it."

➤ **STAFF RECOMMENDATION #7 has been taken into account as the formerly ganged windows above the 2-bay front garage doors have been replaced with two separate windows which have been placed to the edges of the front rather than being placed in the middle.**

Latest plan set (HRB Submittal #2 - 12/10/25)

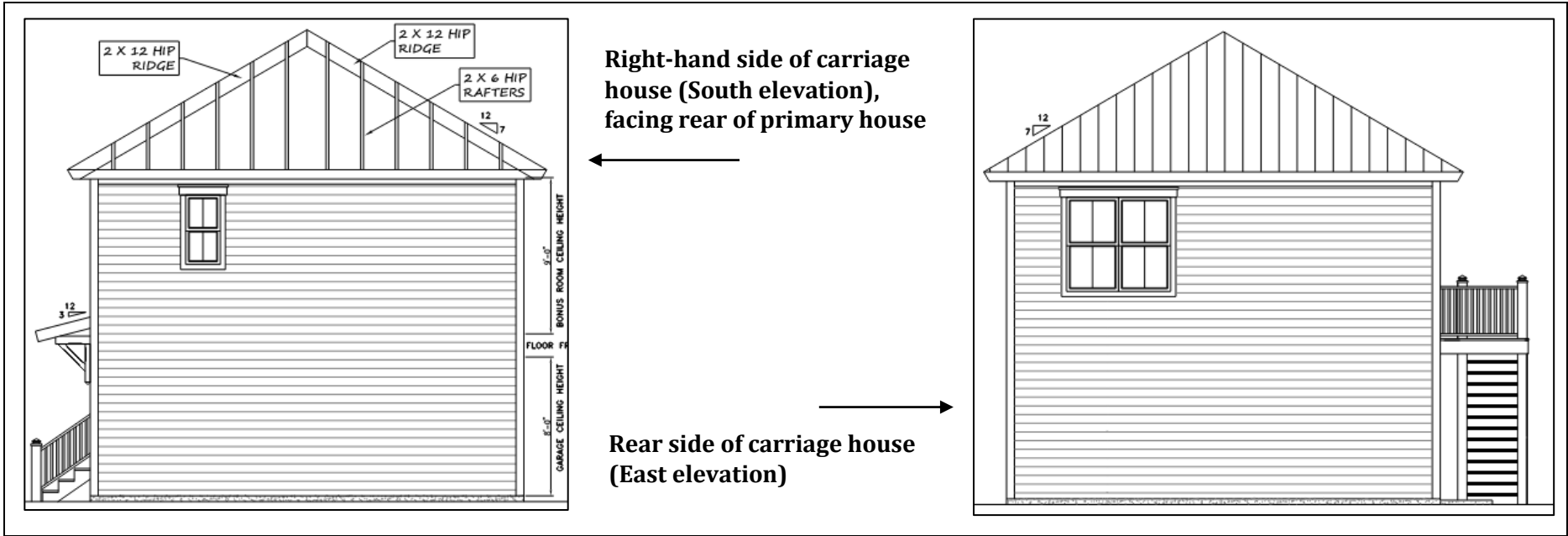


Left-hand side of carriage house (North elevation)



Front of carriage house (West elevation) facing West Street





4.7.2 Integrity Guidelines (as per Beaufort Development Code)	<u>Rationale Present</u>	<u>Staff Analysis of Rationale</u>
1. Location: This is the relationship between the property and its historical context.	YES	✓ 811 Congress Street is located within the Old Commons neighborhood of the Historic District. The latest revisions to the architectural & conceptual drawings incorporate many dwelling design components of Beaufort & the Lowcountry vernacular that respects the relationships between this new-built and historic houses.
2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details.	YES	✓ Staff believes that after multiple revisions through the various HTRC and one previous HDRB meeting, the design has reached the level for Final Approval. Staff believes the proposal will positively integrate itself into the immediate neighborhood and invigorate this section of the Old Commons / Historic District as a whole.
3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.	YES	✓ Staff believes the relationship between the new two-story primary dwelling together with its detached carriage house very much respect the historic fabric and integrity of both the Old Commons neighborhood and the Historic District. The currently vacant lot will be put to its highest and best integrative use and will become home to a well-established family once again.
4. Materials: These are the physical elements that make up a property or district.	TBD	✓ A full detailed materials list (specification sheets/"cutsheets") has not yet been provided. However, details on proposed materials, such as "Horizontal Concrete Board Siding w/ 6" reveals", "Traditional Wood Drip Edge", and "Stucco Foundation", have been included in the plan set. Staff would like these and all materials that will be used to be submitted prior to issuance of a "Certificate of Appropriateness" letter.
5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship	YES	✓ Staff believes that the workmanship for the new infill project positively resembles that

of surrounding structures should be considered and respected.		of the Old Commons and the entire Beaufort Historic District.
6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected.	YES	✓ Staff believes the feeling of the surrounding structures will not be negatively impacted by the proposal.
7. Association: This is the direct link between an important historic event or person and a property.	YES	✓ N/A

FINDINGS AND RECOMMENDATIONS

Staff Recommendation: Staff recommends **FINAL APPROVAL** in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following additional information to be provided, before attaining a “Certificate of Appropriateness” (CoA) letter.

1. Applicant to submit typical building sections including one through the deck and porches, garage deck, and garage awning area. Applicant to also submit details including typical window head/sill/jamb details, column, decking/trim connections, foundation to siding connections, typical eave conditions, etc.
2. Applicant to submit cutsheets for roofing material, windows, pedestrian doors (including front double door and side single doors), columns and railings (if not wood), gutters and downspouts, decking, and siding. Circle all project-specific selections on cutsheets.
3. Applicant to label all materials on both the main house and the garage.
4. Applicant to note that all siding must have a smooth finish per Section 4.6.3.A.1.b of the Beaufort Code.

Moreover, in accordance with Section 4.6.1.F.2, “Mechanical equipment...shall be hidden or screened from view.”, staff recommends the HVAC units below the deck to be screened by either a more opaque screening system and/or landscaping, or to move the HVAC units to the rear of the building.

BOARD MEETING SCHEDULE FOR 2026

HDRB – Historic District Review Board:

2026 Schedule (DRAFT)

Meetings are held at City Hall in Council Chambers on the 2nd floor at 2:00 p.m.

Only digital submittal of all documents is accepted now. You may also view the meeting schedule in document form. Scheduled dates for review of applications are dependent on the number of applications received.

Note: Complete submittals must be submitted by 12:00 noon on the 3rd Friday before the meeting you want to attend.

Written comments for any project before the board must be submitted by noon (12:00 pm) on the business day before the meeting.

<u>Meeting Schedule</u>	<u>Deadline Date (Interoffice)</u>
Wednesday, January 14, 2026	December 24, 2025
Wednesday, February 11, 2026	January 23, 2026
Wednesday, March 11, 2026	February 20, 2026
Wednesday, April 8, 2026	March 20, 2026
Wednesday, May 13, 2026	April 24, 2026
Wednesday, June 10, 2026	May 22, 2026
Wednesday, July 8, 2026	June 19, 2026
Wednesday, August 12, 2026	July 24, 2026
Wednesday, September 9, 2026	August 21, 2026
Wednesday, October 14, 2026	September 25, 2026
Wednesday, November 11, 2026	October 23, 2026
Wednesday, December 9, 2026	November 20, 2026